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PLANNING COMMITTEE

Tuesday, 13th December, 2022 at 7.00 pm
Conference Room, Civic Centre, Silver
Street, Enfield, EN1 3XA

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MEMBERS

Councillors : Sinan Boztas (Chair), Elif Erbil (Vice-Chair), Nawshad Ali,
Gunes Akbulut, Kate Anolue, Lee Chamberlain, Peter Fallart, Ahmet Hasan,
Mohammad Islam, Michael Rye OBE, Jim Steven and Doug Taylor

N.B. Involved parties may request to make a deputation to the Committee by contacting Democracy@enfield.gov.uk before 10am on the meeting date latest

AGENDA – PART 1

1. WELCOME AND APOLOGIES

2. DECLARATIONS OF INTEREST

To receive any declarations of interest.

3. MINUTES OF PREVIOUS MEETING (Pages 1 - 14)

To approve the minutes of the meetings held on 28 September 2022, 18 October 2022 and 22 November 2022 as a true and correct record.

Minutes – 22 November 22 – TO FOLLOW

4. REPORT OF THE HEAD OF PLANNING (Pages 15 - 18)

To receive and note the covering report of the Head of Planning.

5. 20/02137/HOU - 29A CAMLET WAY, BARNET, EN4 0LJ (Pages 19 - 48)

RECOMMENDATION:

1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions.
2. That delegated authority be granted to the Head of Development Management to finalise the wording of the conditions.

WARD: Cockfosters

6. 22/02777/FUL - LAND WEST OF MERIDIAN WATER STATION, SOUTH OF A406, FORE STREET, EDMONTON, N18 (Pages 49 - 68)

RECOMMENDATION:

1. In accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, the Head of Development Management be authorised to Grant full planning permission subject to planning conditions.
2. That delegated authority be granted to the Head of Development Management to finalise the wording of the conditions

WARD: Upper Edmonton

7. DATES OF FUTURE MEETINGS

To note that the dates of future meetings are as follows:

Tuesday 10 January 2023 * Provisional
Tuesday 24 January 2023
Tuesday 7 February 2023 * Provisional
Tuesday 21 February 2023
Tuesday 7 March 2023 * Provisional
Tuesday 21 March 2023
Tuesday 18 April 2023

These meetings will commence at 7:00pm and will be held in the Conference Room at the Civic Centre.

PLANNING COMMITTEE - 28.9.2022

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON WEDNESDAY, 28 SEPTEMBER 2022****COUNCILLORS**

PRESENT Elif Erbil, Kate Anolue, Gunes Akbulut, Nawshad Ali, Mahym Bedekova, Lee Chamberlain, Peter Fallart, Thomas Fawns, Ahmet Hasan (Associate Cabinet Member (Enfield North)), Michael Rye OBE and Jim Steven

ABSENT Sinan Boztas, Mohammad Islam and Doug Taylor

OFFICERS: Vincent Lacovara (Head of Planning), Andy Higham (Head of Development Management), Gideon Whittingham (Planning Decisions Manager), Elizabeth Paraskeva (Principal Lawyer), Brett Leahy (Place Department), Sharon Davidson (Planning Decisions Manager), Karolina Grebowiec-Hall (Principal Planning Officer), David B Taylor (Head of Traffic and Transportation), Julie Thornton (Legal Services) and Mike Hoyland (Senior Transport Planner) and Robyn McLintock (Secretary)

Also Attending: Members of the public, deputees, applicant and agent representatives.

1**WELCOME AND APOLOGIES**

The Chair, Cllr Elif Erbil welcomed everyone to the meeting.

Cllr Kate Anolue was nominated to be the Vice-Chair for the meeting.

Apologies were received from the following:

Cllr Sinan Boztas, substituted by Cllr Mahym Bedekova
Cllr Doug Taylor, substituted by Cllr Thomas Fawns
Cllr Mohammad Islam – no substitute

2**DECLARATIONS OF INTEREST**

No declarations of interest were received.

Cllr Elif Erbil stated she is a ward councillor for Lower Edmonton.
Cllr Thomas Fawns stated he is a ward councillor for Upper Edmonton.

3**MINUTES OF PREVIOUS MEETING**

PLANNING COMMITTEE - 28.9.2022

AGREED that the minutes of the meeting held on 6 September 2022 as a correct record.

4

REPORT OF THE HEAD OF PLANNING

Received the report of the Head of Planning, which was **NOTED**.

5

22/00168/OUT - MONTAGU INDUSTRIAL ESTATE, ENFIELD, LONDON, N18 2NG

1. The introduction by Gideon Whittingham (Planning Decisions Manager), clarifying the proposals.
2. Officers, responding to questions from Members, advised that the relocation of the church is secured as part of the legal agreement and the Council as the landowner is working with businesses and tenants onsite to relocate them. The wedding venue will not be relocated. Due to the nature of the site, there is expected ground contamination, the assessment of which will be conditioned. The more detailed full application would see 15 trees planted to replace the current 10. The outline element currently proposed no tree removal and any proposed would be subject to approval through discharge of condition.
3. Officers clarified that the total number of disabled car spaces provided are policy compliant but the spilt can still be determined. The space for electric charging spaces is within London Plan standards and funded by the developer. The rest of the spaces are passive electric charging spaces and can be changed if there is a future demand. Existing access will be maintained to avoid directing traffic onto residential streets, pedestrian access is more accessible from adjacent roads.
4. Following questions from Members, Officers confirmed that at present the site has 611 full time employees.
5. The unanimous support of the Committee for the officers' recommendation.

AGREED:

1. That subject to the completion of a legal agreement to secure the matters covered in this report and to be appended to the decision notice, the Head of Development Management be authorised to **GRANT** planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

6

21/04742/FUL - MERIDIAN WATER WILLOUGHBY LANE AND MERIDIAN WAY LONDON N18

PLANNING COMMITTEE - 28.9.2022

1. The introduction by Karolina Grebowiec-Hall (Principal Planner), clarifying the proposals. An update report was circulated with amendments to the report including the assessment of flood risk, ecology, viability and waste management as well as an update to the recommendation.
2. The deputation of Matt Burn who spoke against the officers' recommendation.
3. The response from Sara Parkinson (Vistry).
4. Members commented that the biggest challenge of this application is the flood risk. Concerns were also raised regarding the adequacy of play space, safety of roof garden, height, fire safety with single staircase, the function of waste services, no family sized units and the lack of response from the Fire Brigade and the education department. There were also questions regarding the naturalisation of Pymmes Brook.
5. Officers explained the play space available is appropriate in relation to the number of children expected and the comments of Sport England had been addressed by the proposal. The wind conditions around the building can be dealt with by a planning condition to ensure there is appropriate mitigation. Sprinklers will be installed into the building. The arrangements for waste are set out in the update report. The collection of waste by the refuse collector will require a managed solution and the S106 Agreement will include a requirement for an Estate Management Plan that will need to cover this.
6. Following questions from members, Officers confirmed that the application would provide 143 jobs during the construction period, including 45 apprenticeships. The non-residential floor space will be returned to Enfield Council for future allocation use.
7. The new Section 106 will cover the provision of 2 bus stops in which crossing points will be considered. Condition 46 covers a waste management plan to ensure it works for the development and future residents.
8. The Director of Planning and Growth confirmed that the flood risk had been under significant assessment over the past 9 months, and that the Environment Agency supported the recommendation. The Council's LLFA officer and team also supported the recommendation of this application. In the very unlikely event there was an issue, the item would be referred back to the Planning Committee. The Legal Team consider this approach to be reasonable.
9. On the basis that the proposal had a number of issues remaining to be resolved, a motion was proposed by Cllr Rye, and seconded by Cllr Chamberlain to defer making a decision against the officer's recommendation to grant planning permission. This was on the basis that the application was deficient in resolving the flooding issue, management of waste and appropriate play space.
10. The majority voted against the motion, with 6 against and 5 for. The motion was not carried.

PLANNING COMMITTEE - 28.9.2022

11. The officer's recommendation put before members was considered and then agreed with 6 votes for, 2 against and 2 abstentions.

AGREED:

1. If **NO OBJECTION** is received from the Environment Agency, following referral of the application to the Greater London Authority and the completion of a S106 Agreement to secure the matters covered in this report, the Head of Development Management shall be authorised to **GRANT** planning permission subject to conditions.
2. If an **OBJECTION** is raised by the Environment Agency but they request additional information and/or changes in order for their objection to be withdrawn, and this is provided and/or agreed to be provided such that it leads to a withdrawal of the objection, the Chair, Vice Chair and Opposition Lead shall be consulted to determine if the changes required to address the objections raised by the Environment Agency require the scheme to be brought back to Planning Committee for further consideration.
3. If an **OBJECTION** is maintained by the Environment Agency which cannot be resolved or it is agreed with the Chair, Vice Chair and Opposition Lead following paragraph 2 above that the matter should be brought back to Planning Committee this item shall be referred back to this Committee for further consideration.
4. That the Head of Development Management be granted delegated authority to finalise the wording of the S106 Agreement and agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

7

22/00106/FUL - MERIDIAN WATER, KIMBERLEY WAY, LONDON, N18

1. The introduction by Sharon Davidson, Planning Decisions Manager, clarifying the proposals, explaining the relationship of this proposal to the wider development.
2. Discussion around design and specific comments from members concerning the loss of approved community space. Officers explained that building on the approved community space was offset by provision elsewhere and that there was still sufficient amenity space being provided.
3. The unanimous support of the Committee for the Officers recommendation.

AGREED:

1. That subject to the finalisation of a S106 Agreement linking this application to the S106 Agreement for the wider Phase 1 site, the Head of Development Management be authorised to **GRANT** planning permission subject to conditions.

PLANNING COMMITTEE - 28.9.2022

2. That the Head of Development Management be granted delegated authority to agree the final wording of the S106 Agreement and conditions to cover the matters in the Recommendation section of this report.

8

20-01815-FUL - 41-52 GILDA AVENUE, ENFIELD, EN3 7UJ

1. The introduction by Andy Higham, Head of Development Management clarifying the proposals.
2. Officers responded to queries from Members and confirmed they can work with the applicant to ensure window design can be conditioned. It was also confirmed that 6 trees are being removed with 14 semi mature trees being replaced.
3. The unanimous support of the Committee for the Officers recommendation

AGREED:

1. That subject to the finalisation of a S106 to secure the matters covered in this report and to be appended to the decision notice, the Head of Development Management be authorised to **GRANT** planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

9

22-00047-FUL - ENFIELD DISTRICT HEAT NETWORK BETWEEN SOUTHBURY ROAD EN1 HERTFORD ROAD AND ST MARTINS ROAD N9

1. The introduction by Sharon Davidson, Planning Decisions Manager, clarifying the proposals. Noted the additional conditions set out in the update report.
2. Members requested that maps on reports or presentations show the road names in future.
3. Members were concerned that this would cause major traffic disruption and works should be scheduled during school holidays when traffic is lighter. The Head of Traffic and Transportation advised that they would do what they could to minimise the impact, but not all of the works could be carried out during the school holidays. There will be temporary lights and traffic management measures, and these would be processed in accordance with standard highway procedures.
4. Following questions and comments from members, officers confirmed they will be working with local businesses to minimise their disruption and business rate relief could be applicable. Although there is no precise time scale, the works are likely to last for several months. Officers will be working to control the hours that work takes place for environmental aspects.

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5. The unanimous support of the Committee for the Officers recommendation.

AGREED:

1. In accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, the Head of Development Management be authorised to **GRANT** full planning permission subject to planning conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

10

FUTURE MEETING DATES

NOTED the dates of the future meetings.

PLANNING COMMITTEE - 18.10.2022

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 18 OCTOBER 2022**

COUNCILLORS

PRESENT Sinan Boztas, Elif Erbil, Nawshad Ali, Gunes Akbulut, Kate Anolue, Lee Chamberlain, Peter Fallart, Mohammad Islam, Bektas Ozer, Michael Rye OBE, Jim Steven and Doug Taylor

ABSENT Ahmet Hasan (Associate Cabinet Member (Enfield North))

OFFICERS: Ian Davis (Chief Executive), Brett Leahy (Director of Planning and Growth), Terry Osborne (Director of Law and Governance), Vincent Lacovara (Head of Planning), Andy Higham (Head of Development Management), Allison de Marco (Planning Decisions Manager), (David Gittens (Planning Decisions Manager), Gideon Whittingham (Planning Decisions Manager), Sharon Davidson (Planning Decisions Manager), Elizabeth Paraskeva (Principal Lawyer, Regeneration and Contracts Teams), Harriet Bell (Heritage Officer), Mike Hoyland (Senior Transport Planner - Environment), Lap-Pan Chong (Principal Planning Officer), Sarah Odu (Principal Planning Officer), Tom Rumble (Urban Design Lead and Deputy Team Manager), Marie Lowe (Secretary) and Robyn McLintock (Secretary)

Also Attending: Members of the public, deputies, applicant and agent representatives.

1

WELCOME AND APOLOGIES

The Chair welcomed all attendees to the meeting.

Members were reminded of the need to declare all pecuniary or non-pecuniary interests of the items on the agenda and, if applicable, the nature of the interest. Additionally, Members were asked to disclose at this point if they had been lobbied on any of the agenda items (whether it be by the applicant, agent, someone connected to them, by objectors and or residents) and to confirm for the record the nature of any contact. Members were also reminded of the need to have an open mind to the items before Committee and to make their decision solely on the papers and arguments being presented.

Apologies for absence were received from Councillor Ahmet Hasan, who was substituted by Councillor Bektas Ozer.

The Chair agreed to amend the running order of the agenda to accommodate the deputies, who following their item were welcome to leave the meeting. Therefore, the agenda was taken in the following order – Item 7, 8, 9, 5 and 6.

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However, for clarity the minutes are shown in the order of the published agenda.

2

DECLARATIONS OF INTEREST

NOTED that Councillor Doug Taylor declared a non-pecuniary interest as a Council appointed Director of Energetik and would withdraw from the meeting during the discussion of Item 9 - 22/02098/RM - Meridian Water Former Gas Holder Site, Leaside Road, London, N18.

3

MINUTES OF THE PLANNING COMMITTEE MEETING HELD ON TUESDAY 28 SEPTEMBER 2022

In relation to Item 9 - 21/04742/FUL – Meridian Water Willoughby Lane and Meridian Way London N18, Councillor Chamberlain commented that the points raised by the depute, Mr Burn, regarding the major concerns, particularly the single staircase had not been referenced in the minutes. These included concerns around fire safety with single staircase and safety of the roof garden.

AGREED that the minutes of the above meeting be withdrawn from the agenda due to inaccuracies contained therein and be brought back to a future Committee meeting.

4

REPORT OF THE HEAD OF PLANNING

RECEIVED and **NOTED** the report of the Head of Planning.

5

22/01738/FUL - 385 COCKFOSTERS ROAD, BARNET, EN4 0JS

David Gittens, Planning Decisions Manager, introduced the report and described the proposals.

Councillor Alessandro Georgiou, Ward Member for Cockfosters, spoke against the Officer's recommendations.

Mr Makasis, architect, spoke on behalf of the applicant in support of the Officer's recommendations.

During the discussion, Members raised concerns regarding reference in the report to the accommodation being not strictly compliant with Policy DMD 3. The parking provision was also argued to be inadequate as it did not allow for visitor parking or for delivery or maintenance vehicles. Members also debated possible conditions for extra parking and tree replacement (where they were seeking confirmation of the number of trees being replanted). Concerns were

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also raised regarding the visual impact of the outbuilding on the green belt which was not typical of the surrounding area.

Councillor Michael Rye proposed that the application be deferred due to the inaccuracies of the report of Officers regarding Policy DMD3, the inadequacy of car parking provision, insufficient replacement trees proposed and the impact of the outbuilding, which was out of character in the area and would set a precedent for any future development in the vicinity. The proposal was seconded by Councillor Lee Chamberlain.

On being put to the vote, there were seven votes for the proposal to defer the application, four against and one abstention.

AGREED that planning permission be **DEFERRED** for the aforementioned reasons.

6

21/01140/FUL - PUBLIC HOUSE, GREEN STREET, ENFIELD, EN3 7SH

Gideon Whittingham, Planning Decisions Manager, introduced the report and described the proposals. Mr. Whittingham advised the committee that a further letter of objection had been received from Feryal Clark MP objecting to the development.

The deputies Mr Mitchell, local resident and Mr Daniele, agent for the applicant, spoke against the Officer's proposal to refuse the application.

During the discussion which ensued, concerns were raised regarding the lack of changes to the previously considered scheme, the non-compliant fire safety provision, the safety of the children's play area located on the twenty-first floor, the loss of community space and the need for more landscaping. Concerns were also raised about the close proximity of the first-floor amenity space and habitable room windows on Langley Court. Further discussion centred on viability / level of affordable housing contribution and the loss of the public house (although there was an acceptance that the public house had been closed for some time).

Andrew Marsden, the Council's Building Control Manager gave specific advice on the building regulations and concerns about fire safety, and this was echoed by Brett Leahy, Director of Planning & Growth who stated that of all the reasons for refusal, fire safety was the most concerning.

Members also expressed concern regarding the timeframe given by the Committee at its meeting on 19 July 2022 to the applicant to address the reasons for refusal contained in the previous application. Some Members considered this to be insufficient for such a large development. Members were reminded that the timings had been mandated by the Committee themselves and that officers had worked to those timescales.

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Councillor Michael Rye proposed, seconded by Councillor Peter Fallart, that planning permission be refused as per the officer's recommendations.

On being put to the vote, there were five votes for the proposal to refuse the application and seven against.

Members went on to discuss the application further. During the debate, Councillor Mohammad Islam appeared to suggest that he had been in communication with the Applicant who had advised that the communication from the Planning Department had not been adequate. This prompted Elizabeth Paraskeva, the Council's Principal Lawyer, Regeneration and Contracts Teams to seek clarification and to ask Councillor Mohammad Islam to repeat what he had just said. The Councillor explained he was referring to the communication between Enfield's planning officer and the developer's planning agent, rather than direct contact. Brett Leahy, Director of Planning & Growth, advised that he had seen the communication to and from the Applicant and that it was incorrect to say the communication had been inadequate.

Councillor Mohammad Islam proposed that the item be deferred to consider further fire safety and the children's play area but, following a request from Councillor Taylor, it was agreed that it would be sensible to include all 12 reasons for refusal contained in the report so there could be future discussions with the Applicant on all 12 reasons during the period of deferral.

Discussion took place amongst Members as to what would be an appropriate timeframe for the deferral and 6 months was agreed as a reasonable. Following further advice from Brett Leahy, Director of Planning & Growth, it was acknowledged that this period may not naturally fall on a scheduled Committee date and officers would therefore bring back a report on this item, to an appropriate meeting around this timescale.

Councillor Mohammad Islam proposed an amended motion, seconded by Councillor Gunes Akbulut, that the planning application be deferred for six months to allow the applicant sufficient time to address all the 12 reasons for refusal set out in the Officer's report.

On being put to the vote, there were eight votes for the proposal to defer the application, three against and one abstention.

Councillor Jim Steven commented that he was extremely concerned that the committee had agreed to defer this item rather than refusing planning permission given the very serious concerns raised by officers during the debate.

AGREED that the planning application be **DEFERRED** for six months to allow the applicant sufficient time to address all the 12 reasons for refusal set out in the Officer's report.

The Chair adjourned the meeting at 21.01 until 21.12.

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7

22/02098/RM - MERIDIAN WATER FORMER GAS HOLDER SITE, LEESIDE ROAD, LONDON, N18

NOTED that Councillor Doug Taylor having declared a non-pecuniary interest as a Council appointed Director of Energetik withdrew from the meeting during the discussion of this item.

Sarah Odu, Principal Planning Officer, supported by Sharon Davidson, (Planning Decisions Manager – Corporate Projects) introduced the report and described the proposals.

Mr Burn, resident of a neighbouring property, spoke against the officer's recommendation.

Ms Parkinson, Vistry, on behalf of the applicant, spoke in favour of the officer's recommendation.

Members, during the discussion which ensued, raised concerns regarding the current fire safety legislation which allowed for single staircase escape route, which in the proposed development connected to a covered car park by way of the lobbies.

Andrew Marsden, the Council's Building Control Manager gave specific advice on the building regulations and the relationship to fire safety and confirmed that he was satisfied in this regard.

Concerns were also raised by Members in relation to accessibility to disabled parking through the lobbies together with access and location of the refuse stores, as well as the adequacy of car parking spaces

The sub-optimal levels of daylight / sunlight for occupiers of some of the rooms in the proposed units were also discussed.

On being put to the vote, there were seven votes for and four against.

AGREED:

1. That the Head of Development Management be authorised to **GRANT** approval for the reserved matters application Subject to Conditions.
2. That the Head of Development Management be granted delegated authority to finalise the wording of the conditions to cover the matters in the Recommendation section of this report.
3. That the Head of Development Management be authorised to discharge the details submitted pursuant to conditions 9,11,5,23,27,29, 31,32,35,36,37,39,40,43,47,48,49,50,52,53,54,57,58,60,61,63,76,77 and 80.

8

PLANNING COMMITTEE - 18.10.2022

22/01566/VAR - 50 SLADES HILL, ENFIELD, EN2 7EE

David Gittens, Planning Decisions Manager, introduced the report and described the proposals.

NOTED that Councillor Doug Taylor having withdrawn during the discussion on the previous item returned to the meeting.

A letter from Councillor Joanne Laban had been circulated ahead of the meeting, reflecting concerns raised by residents.

On being put to the vote there were eleven votes for and one abstention.

AGREED:

1. That the Head of Development Management be authorised to **GRANT** planning permission subject to conditions.
2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

9

22/01625/RE4 - 263 BULLSMOOR LANE, ENFIELD, EN1 4SF

Lap-Pan Chong Principal Planning Officer, together with Allison De Marco, Planning Decisions Manager, introduced the report and described the proposals.

Members questioned the height of the development on the basis that the recently completed development on the adjoining site should not set a precedence. It was also confirmed by officers that although the north wall had been proposed in an earlier iteration, it had been removed but there remained a distinct boundary between the site and the wider conservation area beyond. Clarification was also provided as regards the play space area, amenity space, daylight, the relationship to the New River and Conservation Area beyond and the visuals in the report. Officers responded to Cllr Chamberlain's question regarding the location of the off-site improvements to play space.

The Urban Design and Heritage officer spoke in support of the proposal.

On being put to the vote, there were nine votes in favour, one against and two abstentions.

AGREED:

1. That in accordance with Regulation 3 of the Town & Country Planning General Regulations 1992, and subject to the finalisation of a shadow Section 106 Agreement to secure the matters covered in this report and to be appended to the decision notice, the Head of Development Management be authorised to **GRANT** Planning Permission subject to conditions.

PLANNING COMMITTEE - 18.10.2022

2. That the Head of Development Management be granted delegated authority to finalise the wording of the Shadow section 106 Agreement and agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

10

FUTURE MEETING DATES

NOTED the dates of future meetings of the Committee which would be held in the Conference Room at the Civic Centre, Enfield and commence at 7.00pm.

Tuesday 01 November 2022 Cancelled
Tuesday 22 November 2022
Tuesday 13 December 2022
Tuesday 10 January 2023 * Provisional
Tuesday 24 January 2023
Tuesday 7 February 2023 * Provisional
Tuesday 21 February 2023
Tuesday 7 March 2023 * Provisional
Tuesday 21 March 2023
Tuesday 18 April 2023

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London Borough of Enfield**Committee: PLANNING COMMITTEE****Meeting Date: 13th December 2022**

Subject: Report of Head of Planning**Cabinet Member: Cllr Susan Erbil****Executive Director: Sarah Cary****Key Decision: N/A**

Purpose of Report

1. To advise members on process and update Members on the number of decisions made by the Council as local planning authority.

Proposal(s)

2. To note the reported information.

Reason for Proposal(s)

3. To assist members in the assessment and determination of planning applications

Relevance to the Council Plan

4. The determination of planning applications supports good growth and sustainable development. Depending on the nature of planning applications, the proposals can deliver new housing including affordable housing, new employment opportunities, improved public realm and can also help strengthen communities

Background

5. Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise.
6. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management

Document (2014) together with other supplementary documents identified in the individual reports.

7. Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

Main Considerations for the Council

8. On the Schedules attached to this report, recommendations in respect of planning applications and applications to display advertisements are set out.
9. Also set out in respect of each application a summary of any representations received. Any later observations will be reported verbally at your meeting.
10. In accordance with delegated powers, 533 applications were determined between 09/11/2022 and 31/11/2022, of which, 176 were granted and 39 refused.
11. A Schedule of Decisions is available in the Members' Library.

Safeguarding Implications

12. None

Public Health Implications

12. None

Equalities Impact of the Proposal

14. None

Environmental and Climate Change Considerations

15. None

Risks that may arise if the proposed decision and related work is not taken

16. Not applicable

Risks that may arise if the proposed decision is taken and actions that will be taken to manage these risks

17. Not applicable

Financial Implications

18. None

Legal Implications

19. None

Workforce Implications

20. None .

Property Implications

21. None

Other Implications

22. None

Options Considered

23. None

Conclusions

24. The conclusions reached having taken all of the above into account.

Report Author: Andy Higham
Head of Development Management
andy.higham@enfield.gov.uk
020 8132 0711

Date of report: 05.12.2022

Appendices

None.

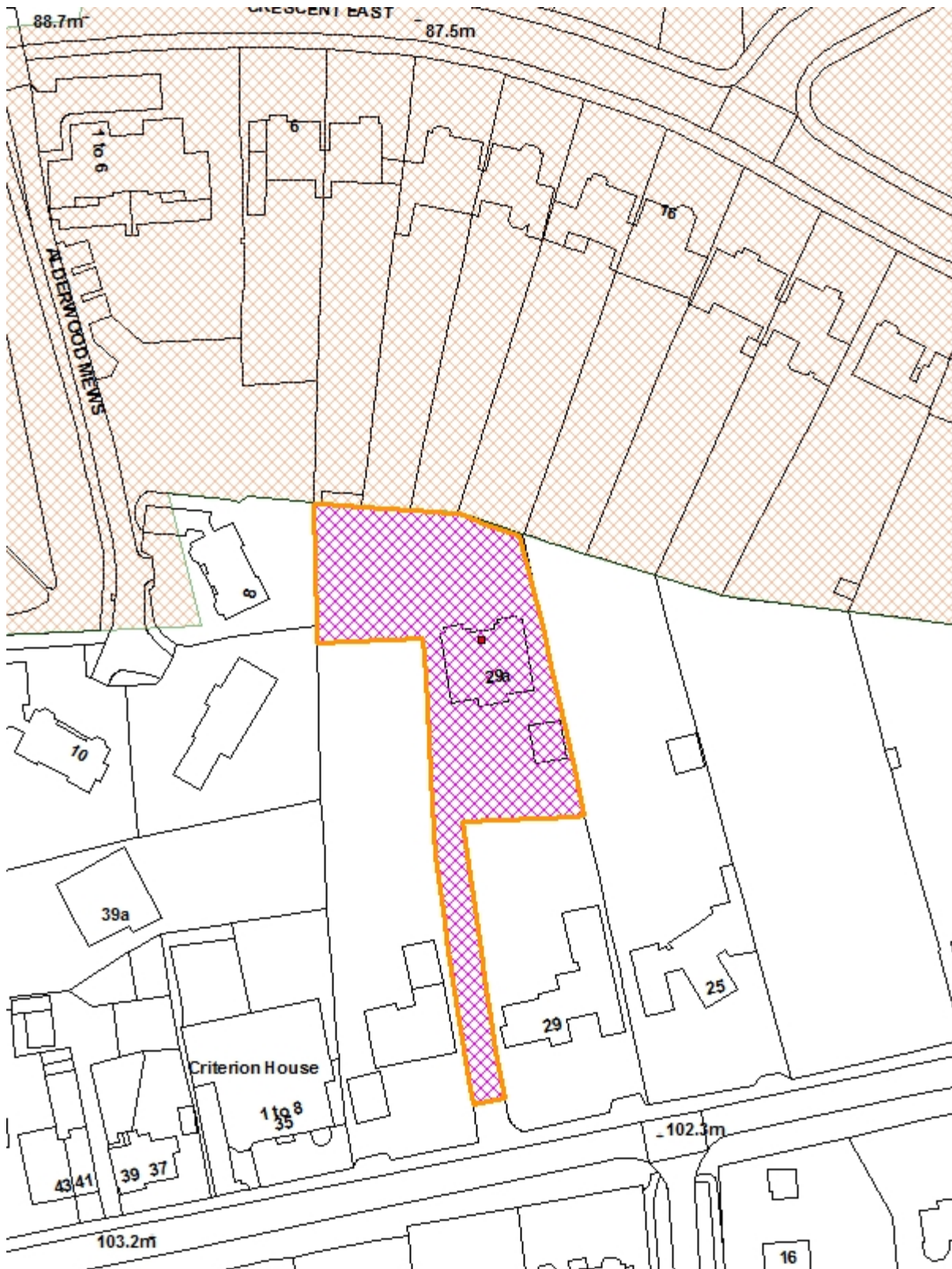
Background Papers

To be found on files indicated in Schedule.

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE	Date: 13th December 2022	
Report of Director of Planning & Growth - Brett Leahy	Contact Officers: David Gittens	Category Householder
Ward Cockfosters	Councillor Request Cllr A Georgiou	
LOCATION: 29A Camlet Way, Barnet, EN4 0LJ		
APPLICATION NUMBER: 20/02137/HOU		
PROPOSAL: Single storey rear / side extension incorporating swimming pool		
Applicant Name & Address: c/o Agent	Agent Name & Address: Mr Michael Vanoli 52 Mawson Road, Cambridge, CB1 2HY	
RECOMMENDATION:		
<ol style="list-style-type: none"> 1. That the Head of Development Management be authorised to GRANT planning permission subject to conditions. 2. That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report. 		

Ref: 20/02137/HOU LOCATION: 29A Camlet Way, Barnet, EN4 0LJ,



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1. Note for Members

- 1.1 This planning application is categorised as a “householder” planning application and would normally be determined under delegated authority, as set out in the Scheme of Delegation. This application was originally reported to the Planning Committee at the request of Councillor Georgiou due to the level of local interest.
- 1.2 The planning application was deferred by Planning Committee on 03/08/2021 and again on 22nd February 2022 to facilitate further discussion with the residents regarding the impact of the development on neighbours in respect to surface water drainage, flooding, loss of trees, and the effect on the setting of the adjoining Conservation Area

2. Recommendation

- 2.1 That the Head of Development Management be authorised to GRANT planning permission subject to the following conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans and documents, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing unless otherwise indicated in the approved plans and documents.

Reason: To ensure a satisfactory appearance.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015, or any amending Order, no additional external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

5. No additional external lighting shall be installed without prior approval in writing by the Local Planning Authority.

Reason: To ensure that the development does not prejudice the amenities of adjoining occupiers and / or the visual amenities of the surrounding area.

6. Notwithstanding the details set out in the submitted Preliminary Drainage Strategy (298/2020/FRADS Rev 4, May 2021), prior to the commencement of

any construction work, details of the Sustainable Drainage Strategy shall be submitted to and approved in writing by the Local Planning Authority and must conform with the Landscaping Strategy. The details shall include:

- Final sizes, storage volumes, invert levels, cross-sections and specifications of all SuDS measures. Include calculations demonstrating functionality where relevant
- Final discharge rates and storage volumes following more detailed analysis of the existing drainage system
- Overland flow routes for exceedance events and how they can be managed
- A detailed management plan for future maintenance

Reason : To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy, DMD 61, and Policies SI12 & SI13 of the London Plan and the NPPF.

7. Prior to occupation of the development, a Verification Report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing. This report must include:

- As built drawings of the sustainable drainage systems including level information (if appropriate)
- Photographs of the completed sustainable drainage systems
- Any relevant certificates from manufacturers/ suppliers of any drainage features
- A confirmation statement of the above signed by the site manager or similar

Reason : To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy, DMD 61, and Policies SI12 & SI13 of the London Plan and the NPP

8. The development shall not commence until details of existing planting to be retained and trees, shrubs and grass to be planted and the treatment of any hard surfaced amenity areas have been submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any trees or shrubs which die, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

2.2 That the Head of Development Management be granted delegated authority to agree the final wording of the conditions to cover the matters in the Recommendation section of this report.

3 Executive Summary

- 3.1 This application seeks approval to erect a single storey rear / side extension incorporating swimming pool.
- 3.2 This application has been considered previously by the Planning Committee and has been deferred in response to concerns raised by local residents in respect of flooding, surface water, loss of trees and the effect on the setting of the Conservation Area. At the last meeting, members requested officers meet with residents to discuss their concerns.
- 3.3 This meeting took place on 1 November 2022
- 3.4 It is acknowledged residents feel strongly about the potential for the proposed extension to impact on the aforementioned issues. However, the presence of objections to the development does not make the application unacceptable. The issues raised by the residents have been carefully assessed by officers and in summary:
- i) the application site is not in a Flood Zone – site is designated Flood Zone 1
 - ii) while it is recognised there are pre-existing issues associated with surface water drainage and flooding in the locality, it is not for this application to retrospectively deal with these issues. All that can be required is that the extension makes the situation no worse and this has been demonstrated through the evidence provided by the applicant and accepted by officers from the Council as the Lead Local Flood Authority. To come to an alternative recommendation would require evidence to support a refusal that there would be a material impact of the current proposal on the flooding and surface water which has been demonstrated not to be the case.
 - iii) the loss of trees is always of concern and where we have control, in accordance with Policy DMD80 officers will seek to negotiate retention or replacement. In this instance, the trees in question are not subject to a tree preservation order, nor are they located within the Hadley Wood Conservation Area. As a result, there are no current controls over the existing trees on the site and the trees could be removed without any consent been obtained. This must be given significant weight in the overall assessment of the proposal. Whilst a more aggressive approach, of legitimately removing non protected trees before or during the planning process is common on many development sites, that has not occurred in this case, despite the prolonged period of time taken to resolve the planning position. That being said, the Council's tree officer has visited the site (the last occasion being 1st June 2022) and does not consider any of the trees within the site to be either of sufficient quality, or have significant public amenity value, to justify the serving of a tree preservation order. It is the view of the tree officer that the few trees that would be removed to facilitate the development are either in poor health or dead and can barely be seen from any vantage point outside the property, including from public views from within the conservation area. Therefore a TPO is not considered to be necessary in this instance. It is considered therefore that no objection should be raised on this ground. However, combined with the proposed replacement planting, it is not considered that the proposal would have any significant impact upon neighbouring amenity.

- iv) it is acknowledged that there is the group of trees along the common boundary and which lie adjacent to the boundary with the Conservation Area and which contribute to its setting. The Heritage officer recognises that the ribbon of large mature trees along this boundary provides a verdant backdrop to the conservation area and integral to its character and appearance. Nevertheless, the Heritage officer advises the proposal involving the felling of three trees would cause no harm to the character and appearance of the conservation area especially as the views of the trees and the relationship to the Conservation area is marginally visible, at distance between pairs of semi detached houses on Crescent East. Due to their location, the trees do not have a significant presence in the public realm. This must be considered as part of the assessment. The tree officer is also of the opinion that due to the condition of the trees and the grouping, proper management with new planning would not be inappropriate and in the long term, will strengthen the benefits of the line of trees along this boundary. Weighting these considerations, it is therefore considered that the effect on the setting is not sufficient to warrant refusal of the planning application.

3.5 In summary therefore, the reasons for recommending approval of this application are:

- The development would accord with the National Planning Policy Framework 2021, the adopted London Plan (2021), the Core Strategy (2010) and the Development Management Document (2014) i.e. the adopted “development plan”.
- The size, siting and detailed design of the proposed single storey rear/side extension responds positively to the context and would have no detrimental impact on the character and appearance of the street-scene or the wider area.
- The proposal, by virtue of its size, location and proximity, would not harm the residential amenity of neighbouring properties.
- The proposal would provide a satisfactory sustainable drainage system in accordance with the requirements of the Council’s SUDS Team.
- The proposal would provide equivalent replacement trees and would not cause any harm to the retained trees which would be mitigated through the application of planning conditions.
- There would be no harm to the significance or setting of the Hadley Wood Conservation Area.

4. Site & Surroundings

- 4.1 The application site is an irregular shaped site fronting the northern side of Camlet Way. The site is accessed from Camlet Way by a single-lane existing private laneway located between Nos 29 and 31 Camlet Way. The site has quite heavy foliage throughout however the site is not subject to any Tree Preservation Orders.
- 4.2 The site hosts a two-storey dwelling within the central northern part of the site. It is located behind No. 29 Camlet Way. There are limited public views into the site as it is substantially set-back from Camlet Way and the main part of the site is located behind the existing neighbouring dwellings fronting the northern side of Camlet Way.

- 4.3 The adjoining properties, including Nos. 8 – 16 Crescent East to the north, No. 29 Camlet Way to the south, No 31 Camlet Way to the south-west and No. 25 Camlet Way to the south-east, feature deep rear gardens.
- 4.4 To the west, Nos. 8 and 9 Alderwood Mews, are two-storey detached properties which are sited at a higher natural ground level.
- 4.5 The rear boundary of the site abuts the Hadley Wood Conservation Area. The site is not located in a conservation area. None of the buildings on it are locally or statutorily listed, nor is the site in the setting of a listed building.
- 4.6 The site is not located in flood zone 2 or 3 but is designated Flood Zone 1.

5. Proposal

- 5.1 The proposal seeks permission to erect a single storey side/rear extension incorporating a swimming pool to the existing property. The proposed single storey side/rear extension will have a depth of approximately 12.5m.

6. Consultation

Statutory and Non-Statutory Consultees

- 6.1 The consultation responses have directed and facilitated the changes to the development and applicable conditions have been added to secure policy compliant development.

External

Thames Water:

- No comment

Internal

Traffic & Transportation

- No comment

Sustainable Drainage

- No objection subject to conditions

Tree Officer

- No objection subject to conditions

Heritage Officer:

-The existing ribbon of large mature trees provides a verdant backdrop to the conservation area and is integral to its character and appearance. Whilst it may not include many individual specimens of high value, it is the overall effect of the grouping

which is important to maintain so as to ensure the character and appearance of the conservation area is preserved as development occurs. Regard must be given to the contribution of the existing trees to the overall effect of the tree grouping. The impact of any removal on the tree grouping, whether the replacement trees, in time, contribute to the tree grouping in a similar fashion, must be considered with reference to selection of correct specimens and the space to mature.

Officer comments

In light of the above officers have consulted further with the Tree officer who had no objections to the original or enhanced tree planting schedule. The Tree officer has referenced the condition of the trees to be removed and In this context, it is considered that the proposed development would not result in harm to the conservation area as the verdant backdrop that the tree grouping provides would be maintained and enhanced.

Public

- 6.2 Consultation letters were sent to 30 surrounding properties on 30.07.2020, 30.10.2020 and 10.02.2021 after the revised Arboricultural Impact Assessment and revised Drainage Strategy were received.
- 6.3 Seven objections to this application were received as a result of this consultation. A summary of the points of objections raised is as follows:

Point of objection	Officer comment
Affect local ecology	There are no policy designations that indicate that application site is ecologically sensitive.
Visual Amenity	Officers do not consider there to be any unacceptable visual amenity impacts as a result of the proposed development. (see sections 10 and 11)
Increase in noise and light pollution	Officers consider any impact identified to be minor and within an acceptable tolerance. (see section 11)
Residential amenity	Officers consider any impact identified to be negligible and within an acceptable tolerance. (see section 11)
Over development	Officers do not consider there to be an overdevelopment of the application site. (see section 10 and 11)
Precedent	Each planning application must be considered on its own merits and cannot be used as a reason for refusal
Increase danger of flooding	The site is not in a flood zone. The Council's drainage officer has raised no objection the proposed SUDs system (see section 12) and it is considered the development would not result in any worsening of the current situation which could be used to substantiate a reason for refusal

Out of keeping with character of area	The residential amenity impacts of the proposed development have been considered in section 10 of this report. The development would not cause harm to the character and the amenities of the area
Loss of trees	There are trees being removed but these are not worthy of TPO protection. Officers are satisfied that the proposed replacement tree would mitigate any identified impact. Specifically, the Tree Officer has raised no objection to this element of the proposed development. (see section 13)
No public benefit	Harm to the designated heritage asset has not been identified and therefore public benefit is not required to outweigh harm caused. (see section 10)

6.4 The above outlined concerns are further considered in the relevant sections of this report.

7. Relevant Planning History

TP/03/1437 - Detached six-bed house with detached double garage and access from Camlet Way (revised scheme)
Granted with conditions 10.10.2003

8. Relevant Planning Policies

8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the Committee have regard to the provisions of the development plan so far as material to the application: and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

London Plan (2021)

8.2 The London Plan is the overall strategic plan for London setting out an integrated economic, environmental, transport and social framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

Policy D3	Optimising site capacity through the design-led approach
Policy D4	Delivering good design
Policy G7	Trees and woodlands
Policy HC1	Heritage and Conservation
Policy SI 12	Flood risk management
Policy SI 13	Sustainable drainage

Core Strategy (2010)

- 8.3 The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the Borough is sustainable. The following is considered particularly relevant:

CP 21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
CP 30 Maintaining and improving the quality of the built and open environment
CP 36 Biodiversity

Development Management Document (2014)

- 8.4 The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy. The following local plan Development Management Document policies are considered particularly relevant:

DMD 6	Residential Character
DMD 9	Amenity Space
DMD 11	Rear Extensions
DMD 14	Side Extensions
DMD 37	Achieving High Quality and Design-Led Development
DMD 44	Conserving and Enhancing Heritage Assets
DMD 59	Avoiding and Reducing Flood Risk
DMD 60	Requirements for a site-specific Flood Risk Assessment
DMD 61	Managing Surface Water
DMD 62	Flood Control and Mitigation Measures
DMD 80	Trees on Development Sites
DMD 81	Landscaping

Other Material Considerations

National Planning Policy Framework (NPPF) 2021
National Planning Practice Guidance (NPPG)
Hadley Wood Conservation Area Character Appraisal

9. Analysis

- 9.1 This report sets out the analysis of the issues that arise from the proposal when assessed against National planning Policy Framework and the adopted "Development Plan".
- 9.2 This application has been subject to extensive consultation to address the concerns raised by the local residents. Amendments made to the original proposal include the increase in replacement trees and incorporation of sustainable drainage features. The matters for consideration include:

- Character, appearance and Heritage

- Neighbouring residential amenity
- Flood Risk
- Trees and Biodiversity

Character and Design

- 9.3 Chapter 12 of the National Planning Policy Framework (NPPF) 2021 sets out that the Government attaches great importance to the design of the built environment, with good design being a key aspect of sustainable development. While Council's should not be too prescriptive in terms of architectural style, in order to achieve high quality outcomes regard must be had to the overall scale, density, massing, height, landscape, layout, materials and access of any new development, particular in relation to neighbouring buildings and the character of the local area more generally.
- 9.4 Policy DMD 6 (Residential Character) of the Development Management Document requires that the scale and form of development is appropriate to the existing pattern of development or setting, having regard to the character typologies. This policy is consistent with the objectives of Policies D3 and D4 of the recently adopted London Plan (2021).
- 9.5 The area surrounding the site is residential in character, typified by two-storey detached dwellinghouses set on deep plots with extensive rear gardens..
- 9.6 The proposed single storey side/rear extension will have a depth of approximately 12.5m and would extend rearward to the eastern side of the rear elevation. In terms of the character of development, properties in Camlet Way such as Nos. 25, 27 and 29 have irregular built forms meaning the extension in itself would not harm the form and pattern of development. Also, the application site benefits from a generous rear garden within which the property and extension would sit. As a result, it is considered the proposed footprint (117m²) would be proportional to the size of the plot and there would be sufficient amenity space retained.
- 9.7 In terms of design, the proposed extension would be sympathetic to the appearance of the existing houses and would represent an acceptably outward appearance in terms of the visual amenities of the wider area. The proposed height would also match with the existing rear projection of the existing house. On balance, it is therefore considered that the proposed single storey side/rear extension would not detrimentally detract from the pattern of development in the area.
- 9.8 Due to the siting of the property, the proposed single storey side/rear extension would not be visible from the public vantage points in Camlet Way or Crescent East. The existing foliage and the proposed landscape scheme (See also Trees and Biodiversity section) would further screen the proposed single storey rear/side extension. The proposed single storey side/rear extension therefore would not result in detrimental impact on the street scene.
- 9.9 It is noted that permitted development rights have been removed for any buildings or extensions to the original dwellinghouse under Condition 13 of planning permission TP/03/1437 dated 10 October 2003. However, this condition does not imply all

extensions should be resisted. It is for the local planning authority to assess the proposed development based on its own merits and the site circumstances.

- 9.10 Given the above, it is considered that the proposed development would not have any adverse visual impact on the street scene along Camlet Way, nor the surrounding area. The proposal would therefore comply with policies D3 and D4 of the London Plan (2021), CP 30 of the Enfield Core Strategy (2010) and DMD 6, DMD 11, DMD 14 and DMD 37 of the Development Management Document (2014).

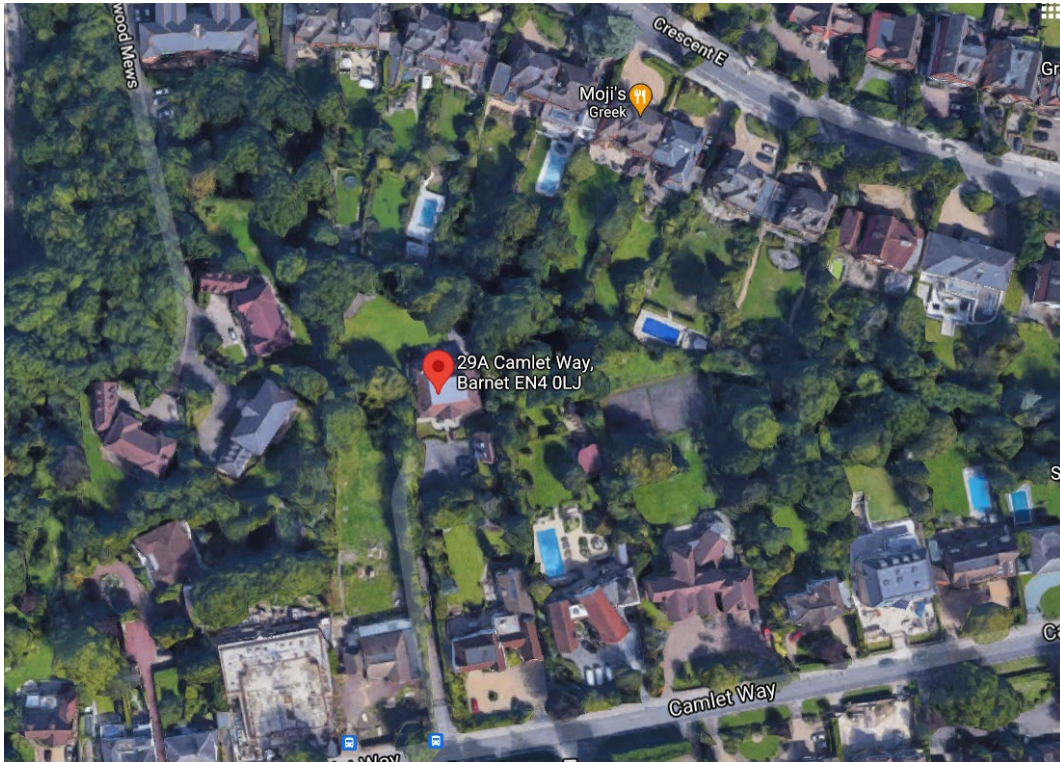


Figure 1: Aerial photo



Figure 2: Rear elevation of the existing house

Relationship to Hadley Wood Conservation Area

- 9.11 The application site is not located within the Hadley Wood Conservation Area but adjoins the boundary.
- 9.12 When assessing planning applications, the Planning (Listed Buildings and Conservation Areas) Act (The Act) 1990 require that all planning decisions ‘should have special regard to the desirability of preserving or enhancing the character or appearance of that area. If harm is identified, it should be given considerable importance and weight in any planning balance in accordance with Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990. Chapter 16 of the NPPF (Para 194) states that local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. It also encourages local planning authorities to take account of a non-designated heritage asset in determining the application. In weighing applications that affect, directly or indirectly, non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm.
- 9.13 The NPPF also states that when considering the impact of the proposal on the significance of a designated heritage asset, great weight should be given to the asset’s conservation and the more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Significance is the value of the heritage asset because of its heritage interest, which may be archaeological, architectural, artistic or historic, and may derive from a heritage asset’s physical presence or its setting.
- 9.14 Para 197 of the NPPF also states:
- “In determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character and distinctiveness”.

9.15 Furthermore, Para 199 states:

“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance”.

9.16 London Plan Policy HC1 ‘Heritage conservation and growth’ states that development should conserve heritage assets and avoid harm, which also applies to non-designated heritage assets. Furthermore, Enfield Core Policy 31 (Built and Landscape Heritage) requires that special regard be had to the impacts of development on heritage assets and their settings, Enfield Core Policy 30 supports high quality and design-led public realm. DMD 44 (Preserving and Enhancing Heritage Assets) requires that developments should conserve and enhance the special interest, significance or setting of and heritage asset while DMD 37 (Achieving High Quality and Design-Led Development) requires that Development must be suitable for its intended function and improve an area through responding to the local character, clearly distinguishing public and private spaces, and a variety of choice. Making Enfield: Enfield Heritage Strategy 2019-2024 SPD (2019) is also relevant.

Heritage Context and Assessment

9.17 The rear boundary of the application site abuts the southern edge of Hadley Wood Conservation Area.

9.18 The key consideration relates to the loss of certain trees along this common boundary. It is acknowledged that the loss of trees may temporarily have an impact on the setting of the conservation area. However, the Tree Officer is of the opinion that the trees in question are of poor quality and long term, the management of the trees through this application by securing the planting of appropriate replacement trees, will ensure that any impact is mitigated thereby ensuring that there will be no harm to the setting of the Hadley Wood Conservation Area.

9.19 A further consideration when assessing the weight to be attributed to the loss of trees is the fact that the trees in question are not subject to a tree preservation order or located within the Hadley Wood Conservation Area: the siting of the trees outside of the conservation area but providing a backdrop to the setting of the Conservation Area does not give any protection or control resulting in a situation whereby, all the trees could be removed without the need to obtain any consent. That, however, is not the intention of the proposals. In terms of considering the significance of the loss of 3 trees against the proposed replacement planting, the absence of protection for the existing trees must be given significant weight in the overall assessment of the proposal.

- 9.20 Furthermore, due to the siting of the property, the proposed single storey side/rear extension would not be visible from the public vantage points in Camlet Way or Crescent East. The existing foliage and the proposed landscape scheme (See also Trees and Biodiversity section) would further screen the proposed single storey rear/side extension. The proposed single storey side/rear extension therefore would not result in detrimental impact on the street scene. Also, given the separation distance from the edge of the Hadley Wood Conservation Area, as well as intervening trees, the proposal would not interfere with any important views into or out of the Conservation Area.
- 9.21 The loss of the trees has the potential to affect the setting of the conservation area. The Heritage Officer has correctly identified that the existing ribbon of large mature trees along the boundary of this section of the Conservation Area provides a verdant backdrop and is integral to its character and appearance. It is also acknowledged that while the line of trees may not include many individual specimens of high value, it is the overall effect of the grouping which is important to maintain so as to ensure the character and appearance of the conservation area is preserved as development occurs. The Heritage Officer however acknowledges that the impact of any removal on the tree grouping and whether the replacement trees, in time, contribute to the tree grouping in a similar fashion, must be considered with reference to selection of correct specimens and the space to mature. With reference to the comments of the Tree Officer and following subsequent internal discussions, the suitability of the replacement planting is considered appropriate and it is concluded there is no harm to the character and appearance of the conservation area.

Neighbouring Residential Amenity

- 9.22 Policies DMD 11 and 14 require that single storey rear and side extensions would not result in unreasonable impact on the amenities of the neighbouring properties.
- 9.23 Given the distance between the proposed single storey side/rear extension and the neighbouring properties, the proposal would not result in any unreasonable loss of outlook, light and privacy to the neighbouring properties. Since the house would remain a single family dwelling house, the resultant noise and disturbance from the proposed extension would not be materially different from the existing. Noise arising from general construction work would be short-term and controlled by the Control of Pollution Act 1974 and is not a ground that can be used to resist development.
- 9.24 With regards to light pollution, the applicant has provided the details of the external lighting. It is proposed to fix three downlights to the western flank elevation. The level of external lighting would not be materially different from that of other typical suburban residential properties. A condition has been attached to restrict any changes to the proposed external lighting details prior to the Local Planning Authority's approval.
- 9.25 Furthermore, majority of the existing trees and soft landscaping will be retained. Along with proposed planting including nine (9) replacement trees (See also Trees and Biodiversity section), the vegetation boundary treatments would provide adequate screening and reduce the light spill into the neighbouring properties, which are a sufficient distance away from the proposed extension.



Figure 3: Photos the existing vegetation boundary treatments around the rear gardens

- a) Left: facing the eastern boundary*
b) Right: facing the north and western boundaries

- 9.26 Concerns have been raised in relation to the cumulative light pollution considering the future development at 39A Camlet Way. Planning permission (ref:19/02830/FUL) was granted on 18 October 2019 for the erection of four 4-bedroom (8 person) dwellinghouses with basement level accommodation and associated works. Condition 21 of this extant permission requested that the existing vegetation and landscape features be retained along with new planting. A separate scheme with at least five replacement trees at 39A Camlet was allowed at appeal (planning ref: 20/02112/FUL and appeal ref: APP/Q5300/W/20/3265480 dated 2 June 2021). Considering the level of screening provided by the vegetation at both the application site and 39A Camlet Way and the proposed standard downlights, it is considered that any impact caused as a result of the proposed external lighting would be within an acceptable tolerance notwithstanding the resultant impact caused upon implementation of extant permissions at no.39A Camlet Way.
- 9.27 In light of the above outlined condition, the proposal would not cause any detrimental impact upon the amenities of any neighbouring dwelling in terms of noise, disturbance, daylight, sunlight, outlook, privacy or overlooking and external lighting. This would be in accordance with Policies D3 and D6 of the London Plan (2021), CP 4 of the Enfield Core Strategy (2010) and DMD 11 and 14 of the Enfield Development Management Document (2014).

Flood Risk

- 9.28 The site is not located within flood zone 2 or 3 and is not subject to surface water flood risk for the 1 in 100 year plus 17% climate change event. In response to the concerns of local residents and the Council's Drainage Engineer, the applicant has revised the sustainable drainage system (SuDS) strategy.
- 9.29 It is proposed to install geo-cellular crates and aggregate below the patio. The rainwater pipes will be suspended above ground level so that rainwater will enter the crates via downpipe discharging onto the permeable paved surface, to then be conveyed to the storage crates. The revised Drainage Strategy is considered to appropriately manage surface water on the site as close to its source as possible in accordance with policy and the development should therefore not heighten the risk of surface water flooding elsewhere in the borough. The Council's SuDS team has no objection to the preliminary SuDS strategy subject to conditions securing that the proposal can provide more detail and is carried out in accordance with the detailed Drainage Strategy. Conditions have

therefore been attached to ensure compliance. It should also be noted there is an existing non permeable patio that will be replaced as part of the development and the remaining patios that are not affected by the proposed extension, would now be permeable confirming the assessment that there would be no worsening of the situation regarding flooding and surface water runoff.

- 9.30 The table below summaries the comments in relation to flood risk raised by the residents and officers' response.

Comment	Officers' response
Recent flooding on 4 th Feb 2021	The Council's SuDs officers were aware of localised flooding within Enfield caused by an exceptionally wet January.
Miscalculation of the risks for flooding in the original application.	TP/03/1437 was granted in 2003 for a detached six-bed house with detached double garage and access from Camlet Way (revised scheme). In accordance with policy at that time, a SuDs strategy was not a requirement.
Lack of SuDS strategy	The Council has requested a SuDS strategy. The revised SuDS strategy including a maintenance plan has taken all the concerns into account. The Council's SuDs team has no objection to the revised SuDS strategy.
Lower natural ground level at the rear of No.25 Camlet Way and properties on Crescent East – (current flooding situation)	No 29 and 29A Camlet Way are elevated on raised ground level with properties at Crescent East situated at the bottom of the hill. They therefore may experience localised flooding during heavy rainfall. An increase in impermeable area may exacerbate this problem but the proposed strategy would mitigate against this in accordance with SuDS policies.
Impact on the removal of the trees.	The Council's SuDs team have noted that the removal of mature trees may have a negative impact on properties downstream. It was therefore suggested that the developers should replace more trees than they have removed (as young trees do not have the same capacity at capturing runoff as mature trees do). It was also recommended that the Council's trees officer should be consulted once a revised planting schedule has been prepared. Further consultation with our Tree officer was carried out and no objection was raised.
Inconsistency in the submitted SuDS strategy	The Council's SuDs team has no objection to the revised SuDS strategy.

Absence of site visits	Upon the residents' requests, the applicant's project team visited No. 16 Crescent East along with residents of Nos 14 and 22 Crescent East
Lack of maintenance as the owner may not stay.	There is no evidence suggesting that proposed maintenance plan would not be complied. Conditions have been attached to ensure the SuDS strategy will be implemented accordingly. It is not a ground to resist development.
Potential failure of the localised pumped macerator for foul water disposal and reliance on natural over ground flow to deal with runoff.	There is no evidence suggesting that the proposed localised pumped macerator would fail. It is understood that the existing pump enables the existing property to connect to the sewer at Camlet Way. No 29A Camlet Way is situated on land that is much lower than the road, and therefore a gravity connection to the sewer is not possible. As there is an existing pump and was installed when the existing property was built (i.e. before our SuDS policies were implemented in 2014) officers cannot guarantee that the pump can cope with the runoff for a 1 in 100 year plus climate change event. The consequences of failure may be that there will be an overland flow route towards properties at Crescent East, but we cannot insist they upgrade their existing drainage infrastructure through our policies (as they apply to new developments). Notwithstanding this, the pumps are fitted with alarms to alert the owners if the system fails.
Lack of consideration of climate change objectives.	The measures proposed for the new development comply with our SuDS policies and are designed to take into account climate change. While this does not address potential flooding in the existing situation, flooding is not increased/exacerbated by the new development. Considering the above a condition has been attached requiring the submission of a drainage verification report to be submitted to the Council and approved in writing prior to occupation.
Lack of basement impact assessment. Basement excavation including the sunken large tank would result in building instability and affect the water table.	The proposal does not involve any basement. Had basement been proposed, a groundwater flood risk assessment would have been requested.
Cumulative impact of the new development at 23 Camlet Way.	<p>Planning permission (ref: 17/03044/FUL) was granted for redevelopment of site and erection of 2 x 4 bed detached single family dwelling and a block of 7 flats comprising 4 x 3, 1 x 2 and 2 x 1 bed with associated landscaping and amenity space at 23 Camlet Way.</p> <p>Following the submission of an acceptable SuDS strategy to restrict the runoff generated from this nearby site (discharged under ref: 19/02838/CND) a subsequent</p>

	verification report demonstrating the implementation of the SuDS measures was approved under reference 22/00678CND.
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- 9.31 Subject to the conditions mentioned above, the proposed development would accord with Policies SI 12 and SI 13 of the London Plan (2021), CP 28 of the Enfield Core Strategy (2010) and DMD 59, DMD 61 and DMD 63 of the Development Management Document (2014).

Trees and Biodiversity

- 9.32 Policy G7 of the London Plan (2021) and DMD 80 of the Development Management Document (2014) state that any development involving the loss of or harm to protected trees or trees of significant amenity or biodiversity value will be refused. Where there are exceptional circumstances to support the removal of such trees, adequate replacement must be provided.
- 9.33 All development and demolition must comply with established good practice, guidelines and legislation for the retention and protection of trees. Proposals must:
- 9.34 Retain and protect trees of amenity and biodiversity value on the site and in adjacent sites that may be affected by the proposals;
- Ensure that the future long-term health and amenity value of the trees is not harmed;
 - Provide adequate separation between the built form and the trees including having regard to shading caused by trees and buildings.
- 9.35 The site is currently well screened by some multi-layered mature boundary vegetation. The trees consist of a mix of semi-mature broadleaf and conifer trees. None of the trees of the site are formally protected. The site is not within designated Site of Importance for Nature Conservation.
- 9.36 An Arboricultural Impact Assessment (AIA) has been provided in accordance with BS5837:2012. The report identifies that most trees on site would be retained. Four trees (T004, T005, T006, T007) on the north-east corner of the site would be removed due to the proposed development. It is noted that two of these trees to be removed (T004 and T007) have moderate visual quality due to their heights. However, they are in poor physical condition and will have limited safe useful life expectancy (SULE). All four trees are therefore classified as Class C trees. Tree protection measures would ensure the retained trees would not be unduly harmed. T013 on the north western and T026 and T027 to the south east will also be removed. These trees have a BS category of U which indicates that the trees are dead or are showing signs of significant, immediate, and irreversible overall decline. Six replacement trees including an English Oak and a Turkish Hazel with a girth ranging from 16-18cm and 14-16cm respectively be provided along the north eastern rear site boundary along with a smaller prunus (girth 8-10cm) and 2 x multi stemmed Amelanchier Lamarckii and a Sorbus Aucuparia ranging in height from 210-240cm. To the north western boundary 3 x replacement trees are proposed including a Turkish Hazel and Liquidambar Styraciflua both would have girths ranging from 14-16cm and a single Prunus with a girth of 8-10cm.

- 9.37 The existing trees at the application site are not statutorily protected. The Tree Officer has no objection to the proposed removal of trees considering their low retention value according to their designated BS categorization and the density of remaining trees surrounding cover in neighbouring gardens. Moreover, the Council's Tree Officer has raised no objection to the proposed replacement trees and planting schedule. As extra protection, a condition covering retention of these trees could be imposed which would result in an improved position over that existing in terms of tree retention.
- 9.38 There was a concern that three existing trees at 25 Camlet Way would be harmed by the proposed development. However, the submitted Arboricultural impact assessment indicates that adequate measures for the protection of existing trees can be introduced in the event that planning permission is granted. In the report it is recommended that a Tree Protection Plan should be provided as part of any condition. This should include: fencing type, ground protection measures, "no dig" surfacing, access facilitation pruning specification, project phasing and an auditable monitoring schedule. The Tree Officer within the Planning Service has confirmed that the proposed tree protection measures are satisfactory, and the appointment of a Structural Engineer for any tree-related matter associated with this development would not be necessary.
- 9.39 Given the number, siting, size, and species, the proposed replacement trees and the landscaping proposal are also considered appropriate.
- 9.40 Since the majority of the trees are retained, and with the introduction of soft landscaping and planting to be added to provide further screening and privacy, there would be no detrimental impact to the neighbouring properties and local ecology subject to the Arboricultural Method Statement, Tree protection plan and Landscape Management conditions. The proposed development therefore would comply with Policy G7 of the London Plan (2021) and DMD 80 of the Development Management Document (2014)
- 9.41 Some local residents suggested that the existing trees within the site should be protected by the Tree Preservation Orders. This matter is outside the scope of this application.

10. Community Infrastructure Levy (CIL)

Mayoral CIL

- 10.1 The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought for the scheme is calculated on the net increase of gross internal floor area multiplied by an Outer London weighting (increased to £60 per sqm as of 1st April 2019).

Enfield CIL

- 10.2 The Council introduced its own CIL on 1 April 2016. Enfield has identified three residential charging zones and the site falls within the higher rate charging zone (£120/sqm).

- 10.3 Both CIL charging rates are presented prior to indexing. The proposed development would be CIL liable as it would create a net additional gross internal floor area of 101.4 sqm.

11. Conclusion

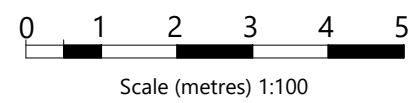
- 11.1 While the concerns of local residents are noted, it is considered the proposed development would respect the character and appearance of the area without having unacceptable impacts on the living conditions of neighbouring properties. Furthermore, having regard to the technical evidence, it is considered the proposed extension would not increase flood risks or harm the biodiversity of the local area when assessed in light of the National Planning Policy Framework, the newly adopted London Plan (2021), the Core Strategy (2010) and the Development Management Document (2014).
- 11.2 As a result the proposal is considered to be acceptable and the recommendation is to grant planning permission.



2 Existing North Elevation
1 : 100



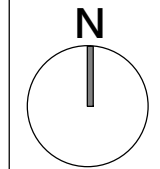
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1 : 100



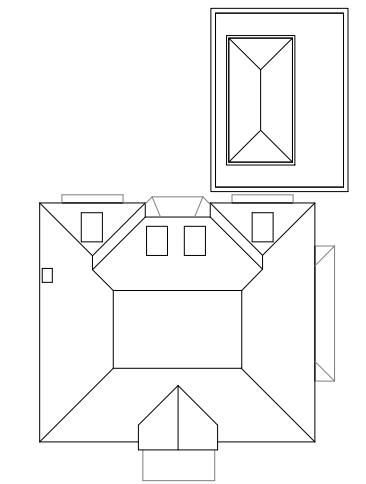
Notes:
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Contractor to check all dimensions on site and report any discrepancies before proceeding

All relevant British standards and Codes of Practices to be complied with



Key Plan



Material Key

1. Facing red brick to match existing.
2. Reconstituted Stone Frieze to match existing.
3. Rooflight colour to match existing fenestration.
4. RWP (to match existing).
5. Bi-fold doors colour to match existing.
6. Red brick plinth to match existing.
7. Polymeric roof covering (lead colour).
8. Louvred doors colour to match existing.
9. Wall mounted downlight (Finish TBC)

Planning Issue

Rev	Date	Description	AD	AD	Drwn
P1	2020-10-19	External Lighting fixtures added		AD	
P0	2020-07-10	Issue for Planning		AD	



52 Mawson Road, Cambridge, CB1 2HY tel. 01223 361 761
email ama@amarch.co.uk, web. www.amarch.co.uk

Project
Pool House at 29a Camlet Way, Barnet EN4 0LJ

Client
Mr A Oxlade-Chamberlain

Drawing
Existing and Proposed North Elevation

Project	originator	volume	level	type	role	number	revision
29ACW-AMA-PH-ZZ-DR-A-0010							P1
Status	Planning	Suitability	S0	Drwn	AD	Chkd	MV
Scales(s)	As indicated@A3	First issued	10-07-2020				

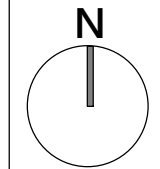
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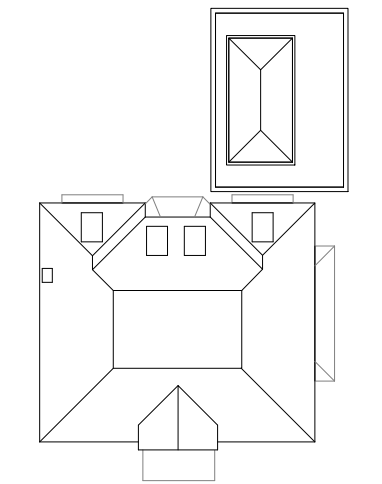
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Key Plan



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Planning Issue

PO Rev	Date	Issue for Planning Description	AD Drwn
	2020-07-10		



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email ama@amarch.co.uk web. www.amarch.co.uk

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Mr A Oxlade-Chamberlain

Drawing
Existing and Proposed North Elevation

Project	originator	volume	level	type	role	number	revision
29ACW-AMA-PH-ZZ-DR-A-0010							0
Status	Suitability	Drwn	Chkd				
Planning	S0	AD	MV				
Scales(s)	As indicated@A3	First issued	10-07-2020				

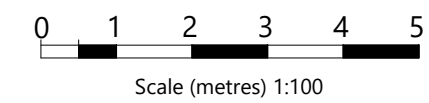
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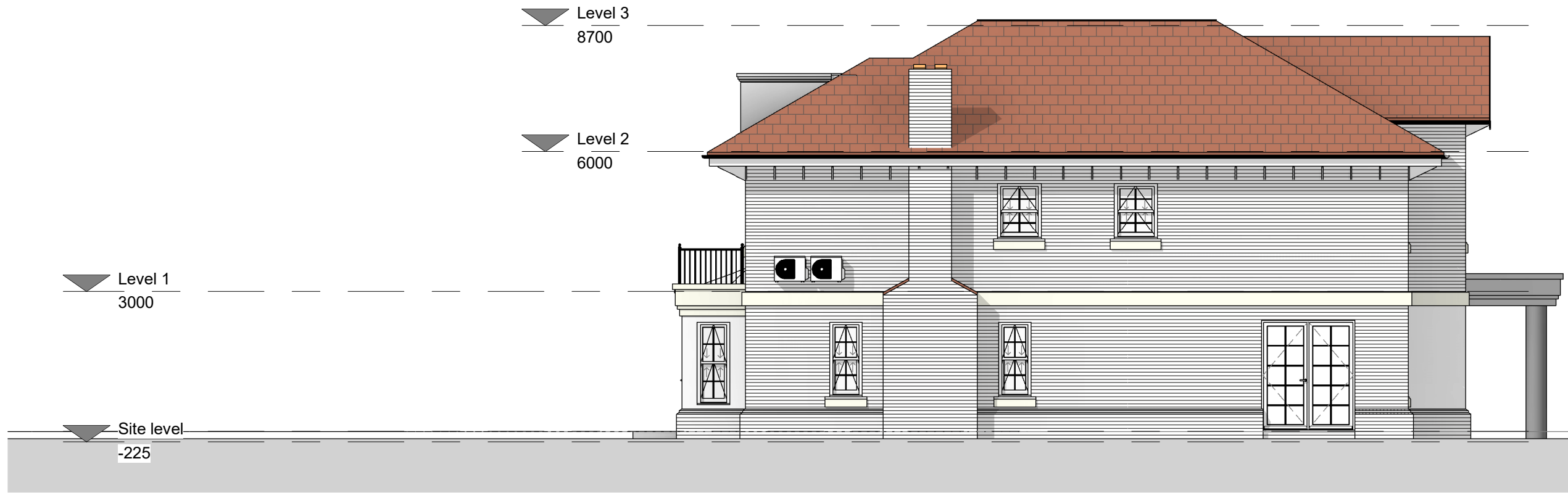


2 Existing North Elevation
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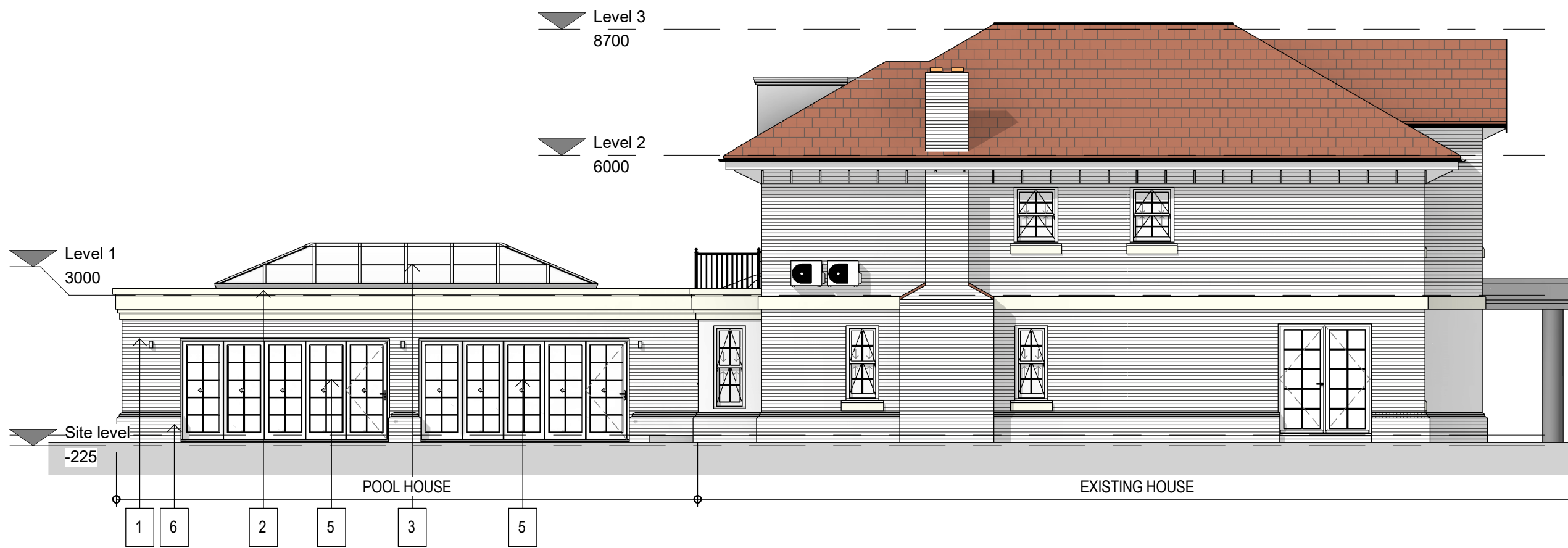


1 Proposed North Elevation
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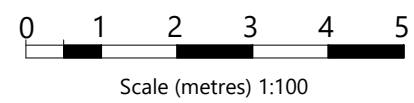




2 Existing West Elevation
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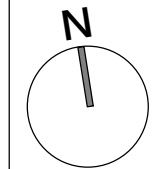
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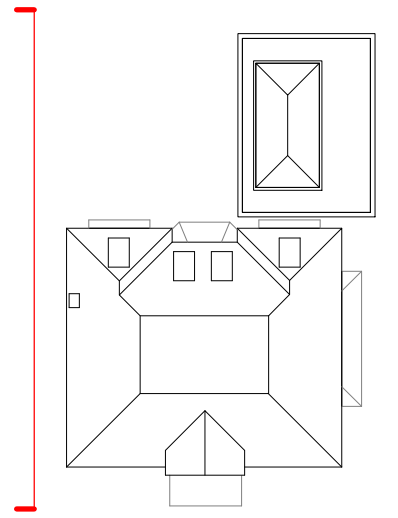
Notes:
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All relevant British standards and Codes of Practices to be complied with



Key Plan



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Planning Issue

Rev	Date	Description	AD	Drwn
P0	2020-07-10	Issue for Planning		



52 Mawson Road, Cambridge, CB1 2HY tel. 01223 361 761
email ama@amarch.co.uk, web. www.amarch.co.uk

Project
Pool House at 29a Camlet Way, Barnet
EN4 0LJ

Client
Mr A Oxlade-Chamberlain

Drawing
Existing and Proposed West Elevations

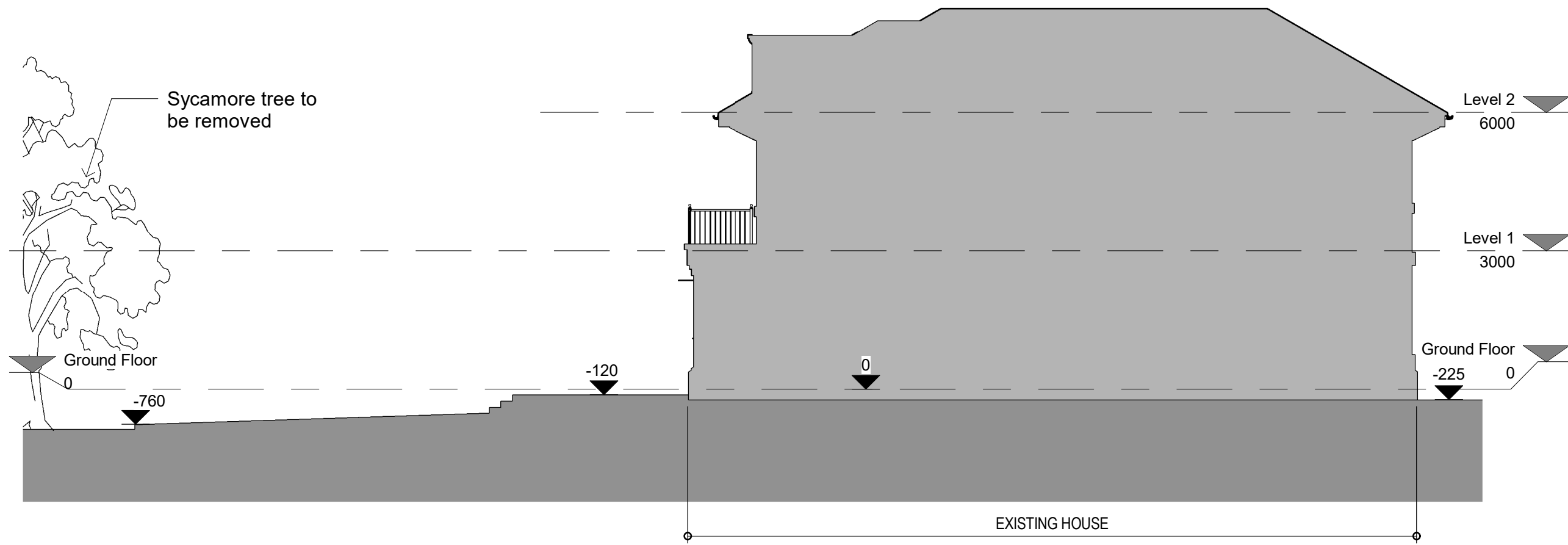
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Status	Suitability	Drwn	Chkd
Planning	S0	AD	MV

Scales: As indicated@A3 First issued 10-07-2020

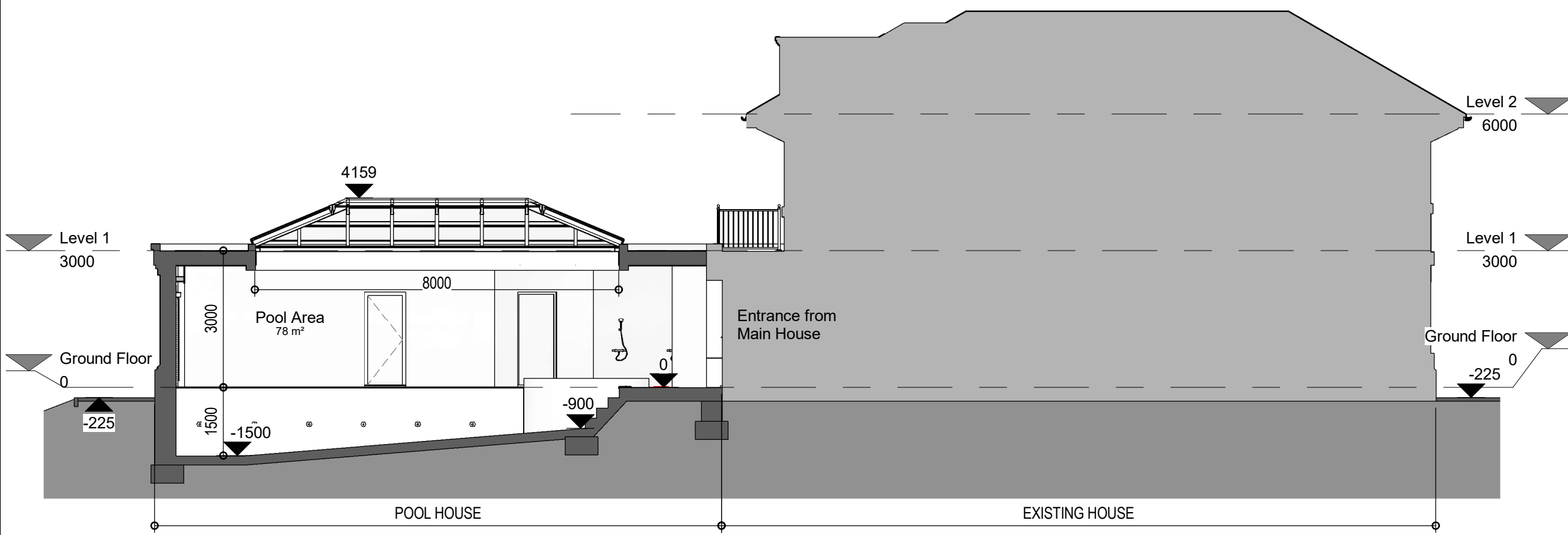
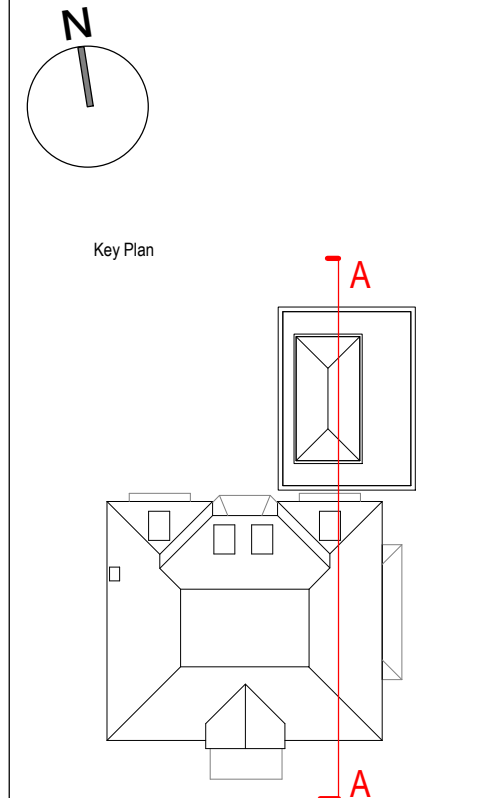
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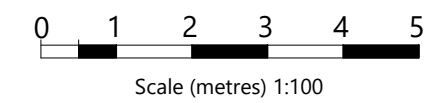


2 Existing Section A-A
1 : 100

Notes:
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1 Proposed Section A-A
1 : 100



Planning Issue

Rev	Date	Description	AD	Drwn
P0	2020-07-20	Issue for Planning		

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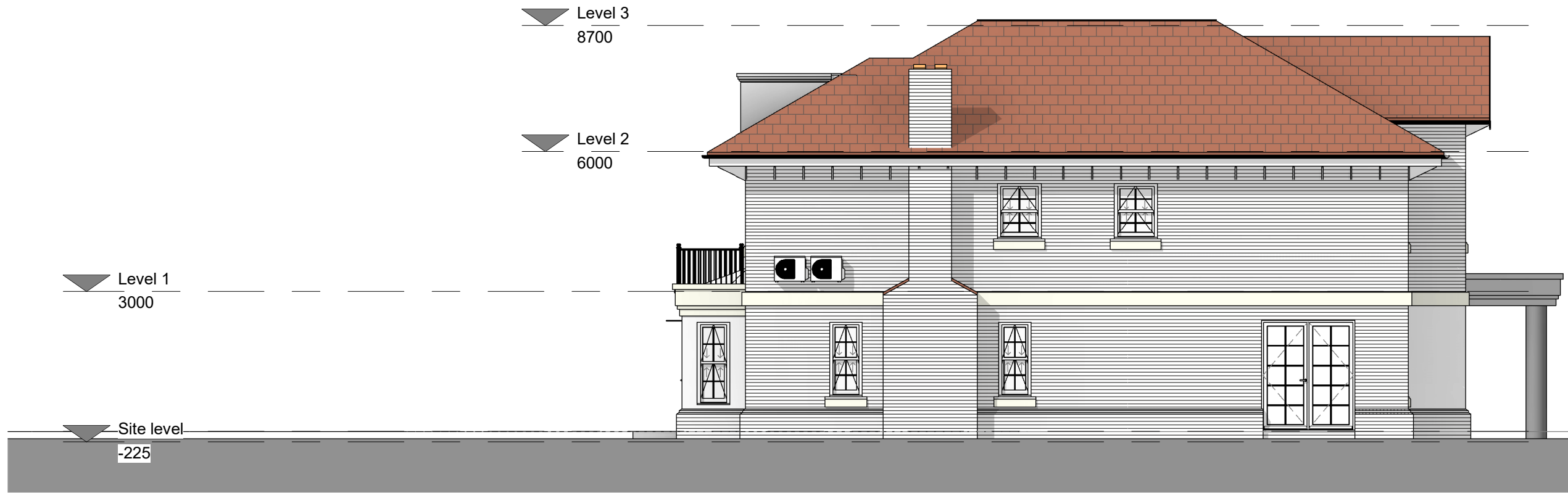
Client
Mr A Oxlade-Chamberlain

Drawing
Existing and Proposed Sections

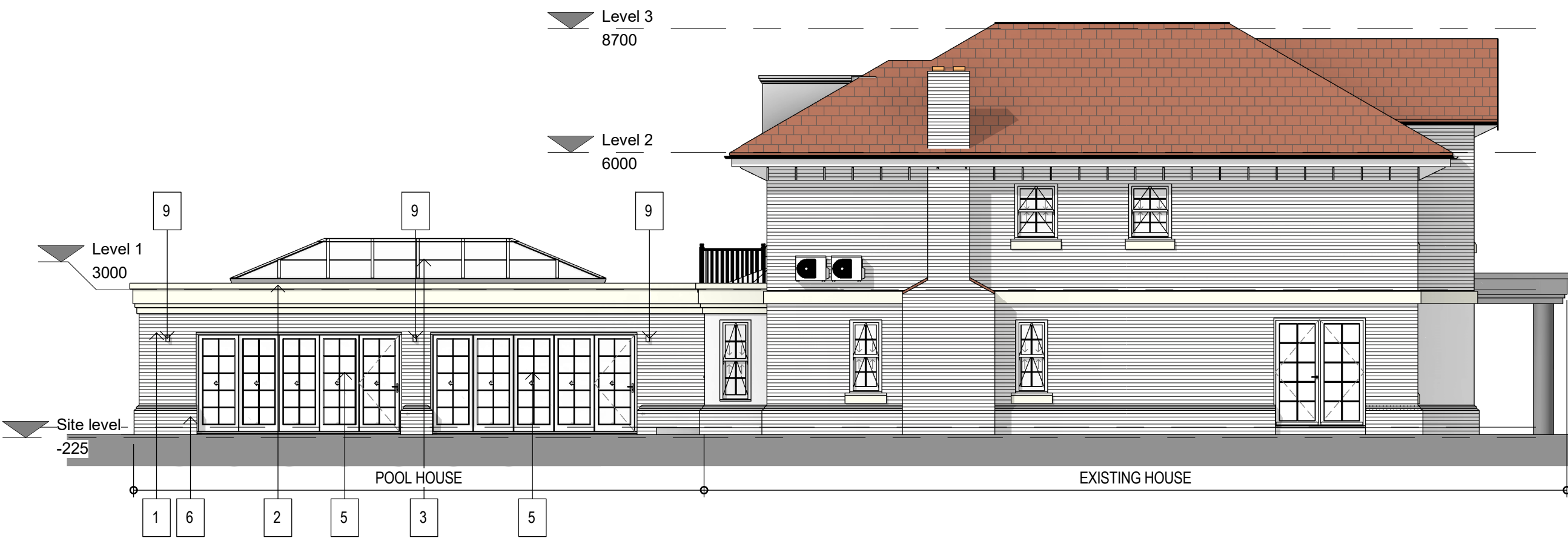
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Status	Planning	Suitability	S0	Drwn	AD	Chkd	MV
Scales	As indicated@A3		First Issued	20/07/20			

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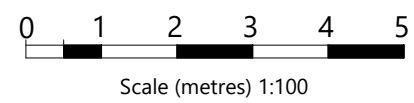
RIBA Chartered Practice



2 Existing West Elevation
1 : 100



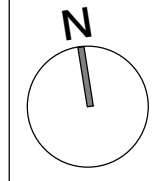
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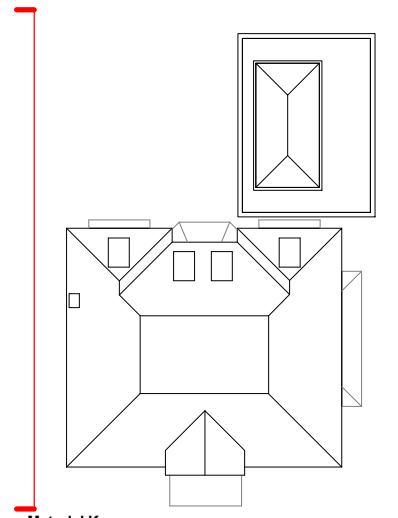
Notes:
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All relevant British standards and Codes of Practices to be complied with



Key Plan



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Planning Issue

Rev	Date	Description	AD	AD	Drwn
P1	2020-10-19	External Lighting fixtures added			AD
P0	2020-07-10	Issue for Planning			AD

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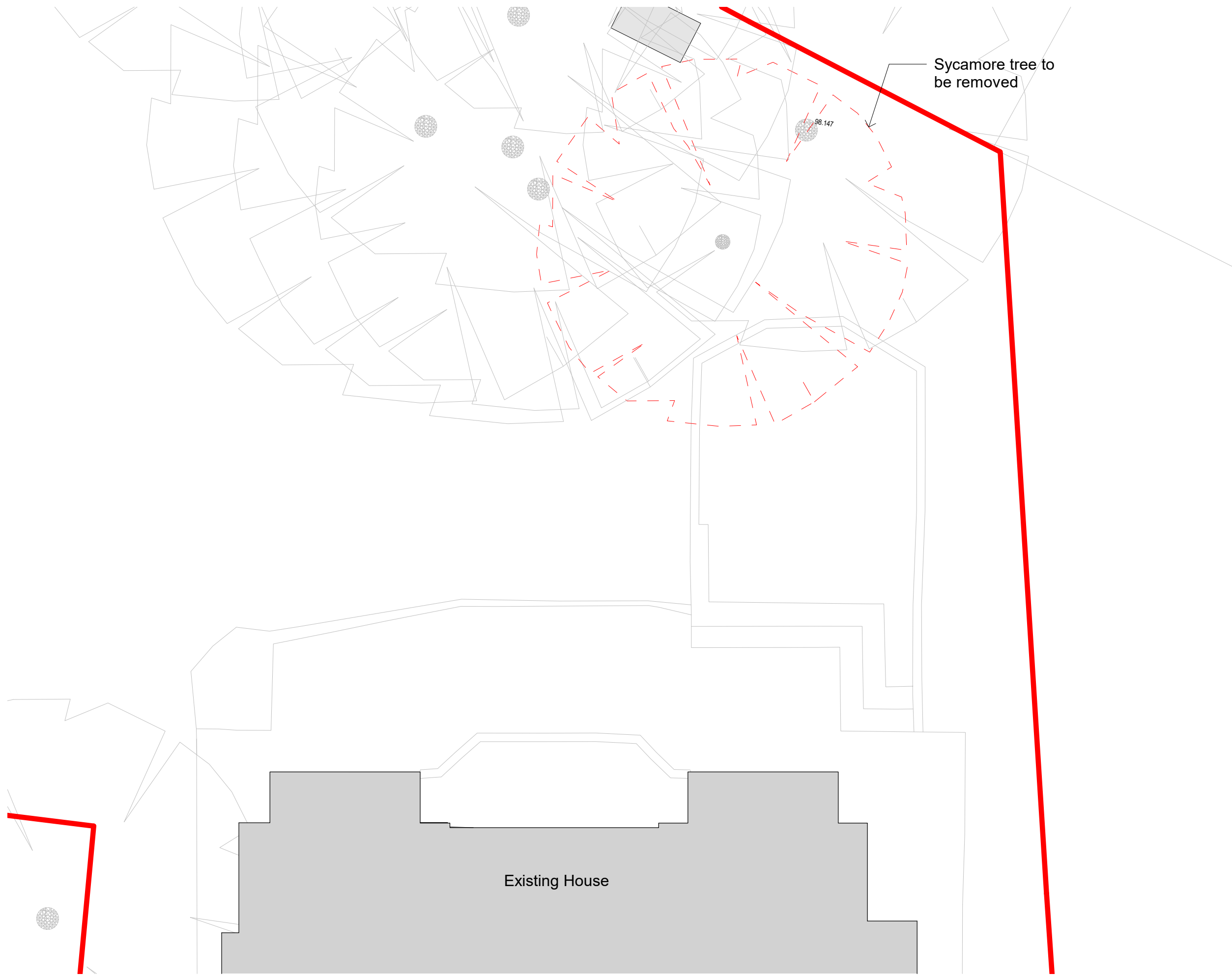
Client
Mr A Oxlade-Chamberlain

Drawing
Existing and Proposed West Elevations

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Status	Planning	Suitability	S0	Drwn	AD	Chkd	MV
Scales(s)	As indicated@A3	First issued	10-07-2020				

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RIBA Chartered Practice



Sycamore tree to be removed

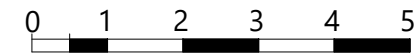
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Existing House

1

Existing Ground Layout

1 : 100

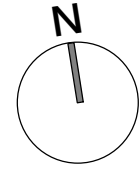


Scale (metres) 1:100

Notes:
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All relevant British standards and Codes of Practices to be complied with



Legend

- Site Boundary
- Existing Buildings

Planning Issue

PO	2020-07-10	Issue for Planning	AD
Rev	Date	Description	Drwn



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Project
Pool House at 29a Camlet Way, Barnet EN4 0LJ

Client
Mr A Oxlade-Chamberlain

Drawing
Existing Ground Layout

Project	originator	volume	level	type	role	number	revision
29ACW-AMA-PH-00-DR-A-0004							0

Status	Suitability	Drwn	Chkd
Planning	S0	AD	MV

Scales(s)	First Issued
As indicated@A3	10-07-2020

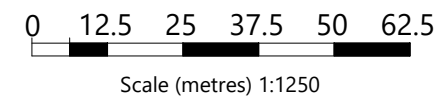
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1 Location Plan
1 : 1250

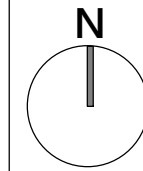
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Notes:
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Contractor to check all dimensions on site and report any discrepancies before proceeding

All relevant British standards and Codes of Practices to be complied with



Legend

- Site Boundary
- Existing Buildings

Planning Issue

PO	Date	Description	AD
Rev	2020-07-10	Issue for Planning	Drwn

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Project
Pool House at 29a Camlet Way, Barnet EN4 0LJ

Client
Mr A Oxlade-Chamberlain

Drawing
Location Plan

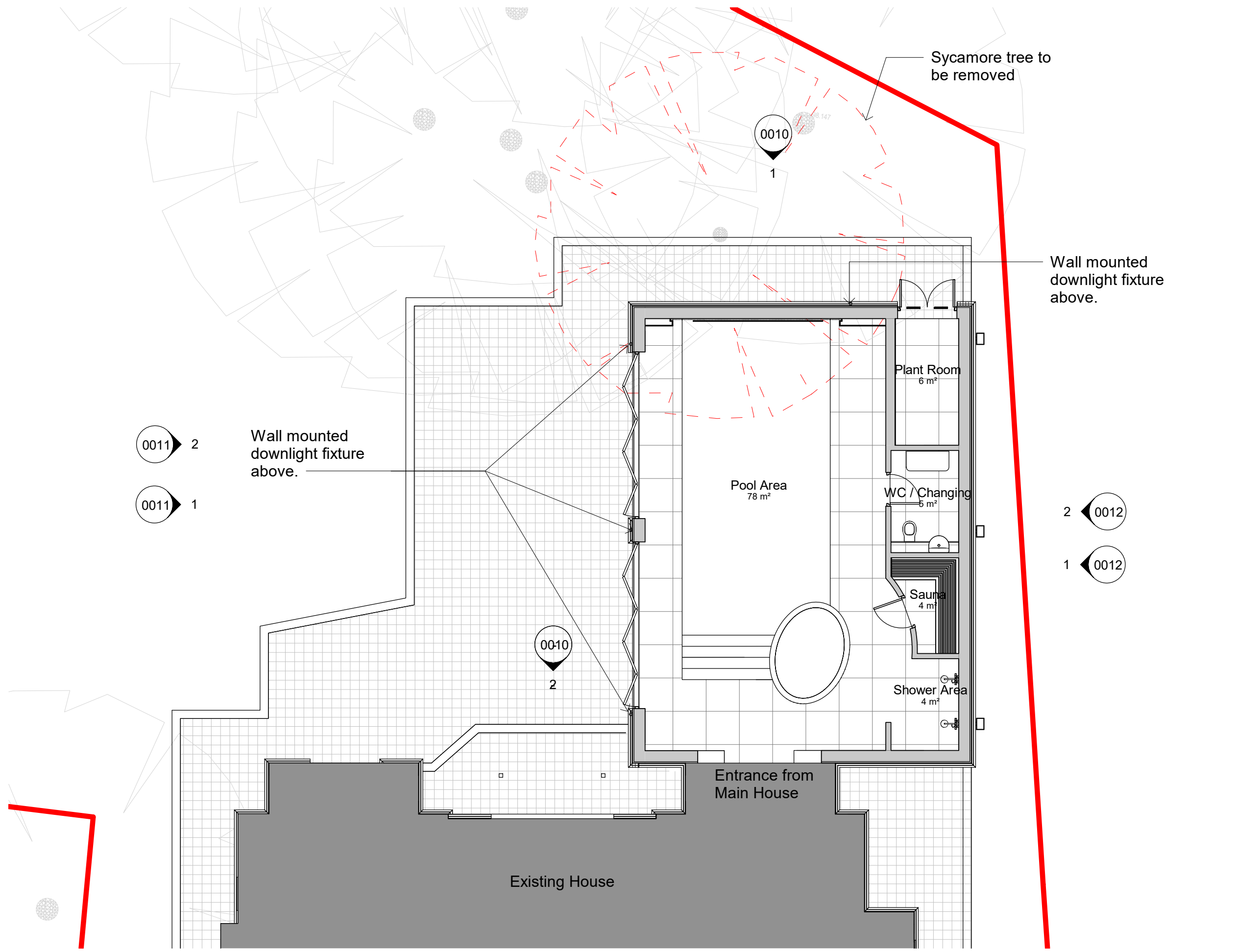
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Planning	S0	AD	MV

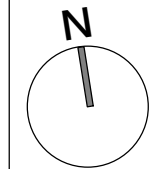
Scales)	As indicated@A3	First issued	10-07-2020
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Legend
 — Site Boundary
 Existing Buildings

Planning Issue

Rev	Date	Description	AD	AD	Drwn
P1	2020-10-19	External Lighting fixtures added			
P0	2020-07-10	Issue for Planning			

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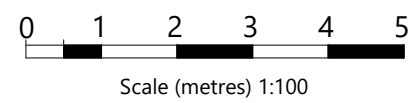
Drawing
Proposed Ground Floor Plan

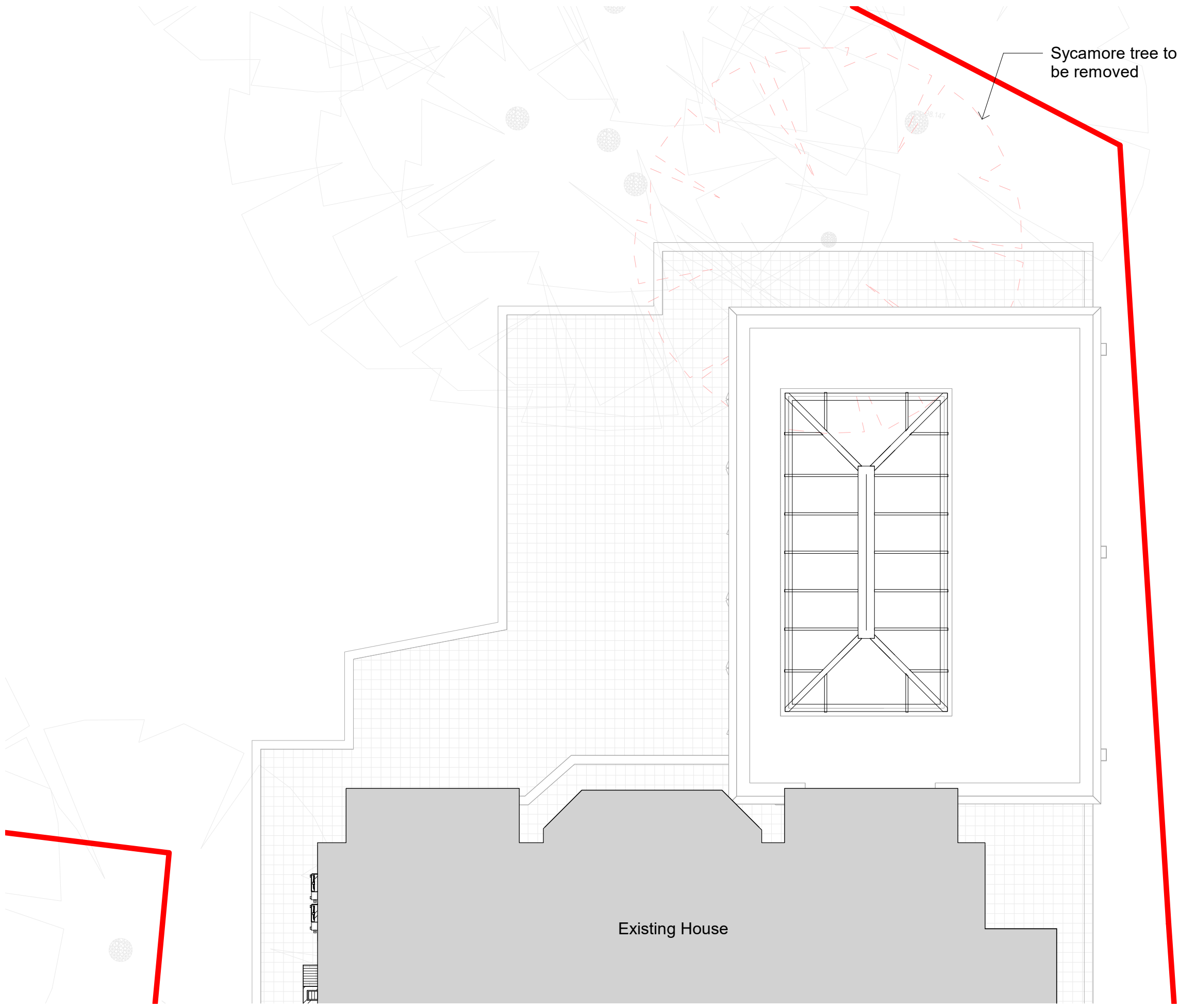
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29ACW-AMA-PH-00-DR-A-0005							P1
Status	Planning	Suitability	S0	Drwn	AD	Chkd	MV
Scales(s)	As indicated@A3	First issued	10-07-2020				

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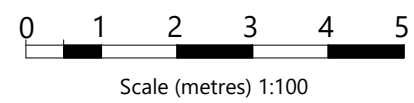
1 Proposed Ground Floor Plan
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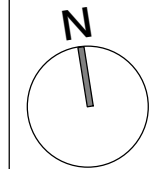


Sycamore tree to be removed

1 Proposed Roof Plan
1:100



Notes:
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All relevant British standards and Codes of Practices to be complied with



- Legend**
- Site Boundary
 - Existing Buildings

Planning Issue

PO	Date	Description	AD	Drwn
2020-07-10		Issue for Planning		

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Drawing
Proposed Roof Plan

Project	originator	volume	level	type	role	number	revision
29ACW-AMA-PH-01-DR-A-0006							0
Status	Suitability	Drwn	Chkd				
Planning	S0	AD	MV				
Scales(s)	As indicated@A3	First Issued	10-07-2020				

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LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date:** 13th December 2022**Report of**Head of Planning and
Growth – Brett Leahy**Contact Officers:**Joseph McKee
Sharon Davidson**Category**

Full Planning

Ward

Upper Edmonton

Councillor Request

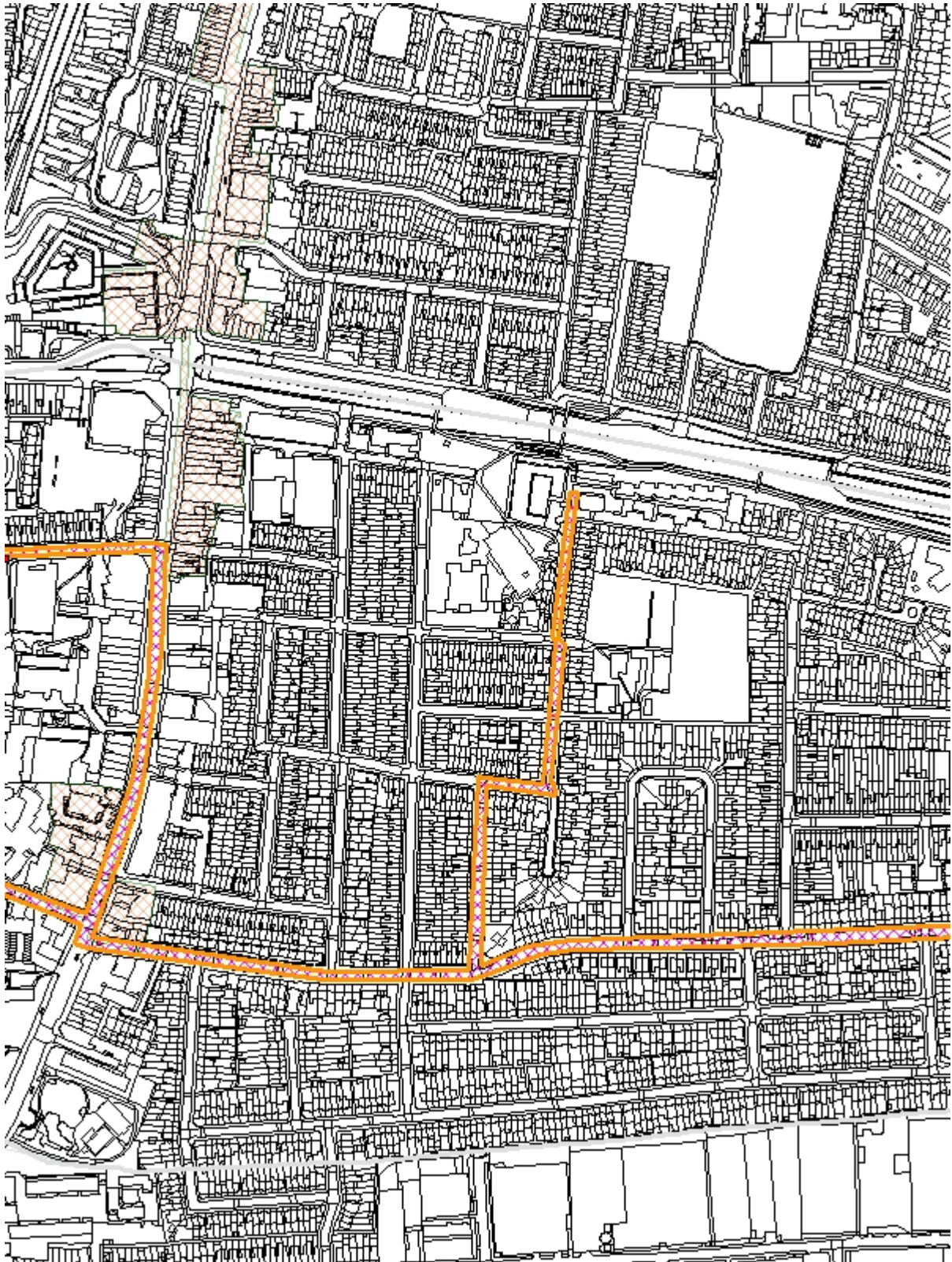
No Request Received

LOCATION: Land West Of Meridian Water Station, South Of A406, Fore Street,
Edmonton, N18**APPLICATION NUMBER:** 22/02777/FUL**PROPOSAL:** Phase 2 Part 1 of new 23km Borough-wide district heating distribution network in Enfield comprising at this stage pipework of approximately 2km in length.**Applicant Name & Address:**c/o DRK Planning Ltd
DRK Planning Ltd
215 Alfred Court
53 Fortune Green Road
West Hampstead
NW6 1DF**Agent Name & Address:**David Kemp
DRK Planning Ltd
215 Alfred Court
53 Fortune Green Road
West Hampstead
NW6 1DF**RECOMMENDATION:**

1. In accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, the Head of Development Management be authorised to GRANT full planning permission subject to planning conditions.

2. That delegated authority be granted to the Head of Development Management to finalise the wording of the conditions

Ref: 22/02777/FUL LOCATION: Land West Of Meridian Water Station, South Of A406, Fore Street, , Edmonton, Enfield, N18



1. Note for Members

- 1.1 The application is reported to the Planning Committee because it is classified as a major development. In addition, the applicant for the development is closely associated with Enfield Council and in accordance with the scheme of delegation, this item has been reported to the Planning Committee for determination.

2. Recommendation:

That the Head of Development Management be authorised to **GRANT** full planning permission subject to planning conditions:

1. Limited Time Period Permission

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. Approved Plans

The development hereby permitted shall be carried out in accordance with the approved plans as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Written Scheme of Investigation

No demolition or development within an individual development zone or section shall take place until a written scheme of investigation (WSI) related to archaeology for that development zone or section has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and

- A. The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works
- B. Where appropriate, details of a programme for delivering related positive public benefits
- C. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until

these elements have been fulfilled in accordance with the programme set out in the WSI

4. Air Quality

All Non-Road Mobile Machinery (NRMM) of net power of 37kW and up to and including 560kW used during the course of the demolition, site preparation and construction phases shall comply with the emission standards set out in chapter 7 of the GLA's supplementary planning guidance "Control of Dust and Emissions During Construction and Demolition" dated July 2014 (SPG), or subsequent guidance. Unless it complies with the standards set out in the SPG, no NRMM shall be on site, at any time, whether in use or not, without the prior written consent of the local planning authority. The developer shall keep an up to date list of all NRMM used during the demolition, site preparation and construction phases of the development on the online register at <https://nrmm.london/>

Reasons: In the interests of good air quality with regard to London Plan (2021).

5. Unidentified Contamination

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted and obtained written approval from the Local Planning Authority for, an amendment to the remediation strategy detailing how this unsuspected contamination shall be dealt with.

Reason: To protect against risks arising from contamination.

6. Tree Replacement

That within one year of completion of construction works for any individual development zone or section; the number of trees removed within that development zone or section shall be planted of a standard size in accordance with Arboricultural good practice in place of the total number of trees to be removed within that development or section and at locations to be agreed in writing by the Local Planning Authority before planting. Such trees shall be replaced with ones of similar size and type should they die within five years of planting. The overall number of replacement trees throughout the scheme shall be no less than 8.

Reason: To secure suitable replacement planting and to maintain the Borough's stock of amenity trees, in alignment with Policy DMD 80.

7. Tree Protection Plan and Method Statement

Prior to the commencement of the development hereby approved (including demolition and all preparatory work), a scheme for the protection of the retained trees, in accordance with BS 5837:2012, including a tree protection plan (TPP) and an Arboricultural method statement (AMS) shall be submitted to and approved in writing by the Local Planning Authority. Specific issues to be dealt with in the TPP and AMS shall be:

- a) Detailed location and installation of services/ utilities , including trench location and dimensions, finished construction dimensions, and options for trenchless installation.
- b) Details of excavation and construction within the Root Protection Area (RPA) or that may impact on the retained trees, including trench location and dimensions and options and locations for trenchless installation.
- c) A specification for protective fencing to safeguard trees during both excavation and construction phases.
- d) A specification for ground protection within tree protection zones.
- e) Tree protection during construction indicated on a TPP and construction and construction activities clearly identified as prohibited in this area.
- f) details of site access, temporary parking, on site welfare facilities, loading, unloading and storage of equipment, materials, fuels and waste as well concrete mixing and use of fires
- g) Methodology and detailed assessment of root pruning
- h) Arboricultural supervision and inspection by a suitably qualified tree specialist
- i) Reporting of inspection and supervision

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: Required prior to commencement of development to satisfy the Local Planning Authority that the trees to be retained will not be damaged during demolition or construction and to protect and enhance the appearance and character of the site and locality, in accordance with DMD80 and pursuant to section 197 of the Town and Country Planning Act 1990

8. Construction Environmental Management Plan

No development shall take place within an individual development zone or section (including demolition, ground works, vegetation clearance) until a construction environmental management plan (CEMP: Biodiversity) has been submitted to and approved in writing by the local planning authority. The CEMP (Biodiversity) shall include the following.

- a) Risk assessment of potentially damaging construction activities.
- b) Identification of "biodiversity protection zones".
- c) Practical measures (both physical measures and sensitive working practices) to avoid or reduce impacts during construction (may be provided as a set of method statements).

- d) The location and timing of sensitive works to avoid harm to biodiversity features.
- e) The times during construction when specialist ecologists need to be present on site to oversee works.
- f) Responsible persons and lines of communication.
- g) The role and responsibilities on site of an ecological clerk of works (ECoW) or similarly competent person.
- h) Use of protective fences, exclusion barriers and warning signs.

The approved CEMP shall be adhered to and implemented throughout the construction period strictly in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.

Reason: To minimise impacts on biodiversity in accordance with Paragraphs 179 and 180 of the NPPF.

3. Executive Summary:

- 3.1 The application site spans across a relatively large area of the south-eastern portion of the Borough with Upper Edmonton. The application seeks approval for part one of the second phase of a new decentralised energy network that will eventually cover large areas of the London Borough of Enfield and some areas of neighbouring London Boroughs.
- 3.2 The installation of the network constitutes engineering works requiring planning permission. However, the majority of the network is located beneath the highway and works cannot take place until all details, including traffic management arrangements during construction have been agreed by the Council in its capacity as highway and street works authority.
- 3.3 Decentralised energy networks are encouraged and supported in local, regional, and national planning policies and major developments are required to connect to existing or planned energy networks whenever possible. Several major developments within the Borough have already installed or are installing the equipment and infrastructure necessary to connect to the subject energy network.
- 3.4 This first part of the second phase is approximately 2km in length and extends from the Meridian Water/Edmonton area in the southeast of the Borough towards the west. There will be two additional phases (including subphases) following this phase to complete the total 23km pipeline network. Although Phase 2, Part 1 does not contain individual development “phases”, the applicant has provided drawings showing 3 development zones with sections of work to commence within each zone, and many of them will happen concurrently.
- 3.5 The Energetik/Lee Valley Heat Network is supplied with energy from the adjacent EcoPark/North London Heat and Power Project facility to the north, which generates energy from waste.
- 3.6 The primary reasons for recommending approval are:

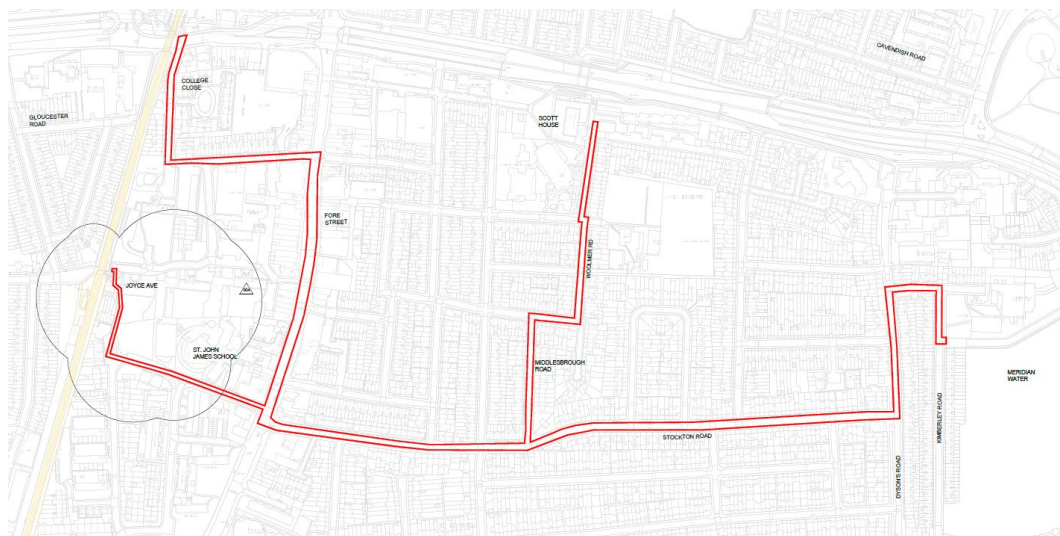
- The development and expansion of low carbon decentralised energy networks is strongly supported throughout all levels of planning policy.
- The development would extend part of the decentralised energy network, which is both encouraged and required by local and regional plans and policies and enables the wider delivery of actual service to progress. It will facilitate further expansion of the network as well, allowing development in the future to benefit from connecting to the network.
- The development complies with relevant planning policy where identified in this report, or compliance can be ensured through the use of planning conditions that have been proposed.

3.7 The proposal is considered acceptable in particular having regard to Policies GG1, SI2, and SI3 of the London Plan, Policy CP20 of the Core Strategy and Policies 51 and 52 of the Development Management Document.

4. Site and Surroundings:

4.1. The subject site spans across the central portion of Upper Edmonton Ward and is approximately 2km in length. The vast majority of the piping will be located within the public highway, buried under road and pedestrian surfaces. Other portions of the piping will extend beneath pedestrian or cycle paths. The applicant states that once the piping is placed underground, the surfaces will be reinstated and the areas it passes through will look no different, with the exception of some access covers along the route where the pipes change direction.

4.2. The following figure depicts the proposed route:



4.3. The route passes through areas containing commercial, residential, and public uses. It will pass through two conservation areas (Fore Street Angel and Fore Street South), although will not impact built (above-ground) heritage assets. As

most of the construction works will occur within carriageways, a detailed traffic management proposal and plans have been submitted.

5. Relevant Planning History:

- 5.1 The following is the primary planning application associated with the subject proposal.

Reference	Description	Decision	Date
18/04517/FUL	Construction of a new district heating energy centre building and phase 1 of the associated buried heat network piping which extends westward into the wider borough.	S106 Granted with Conditions	11 January 2021
<p>Officer Note: This was an application for Energetik's operational hub for the decentralised energy network pipes and an extension of the piping to Meridian Water. This was also called phase 1 but was specific to an extension to Meridian Water.</p> <p>The energy centre building is located at 4 Advent Way, to the north of the North Circular Road.</p>			

- 5.2 The following is the planning permission that was granted for Phase 1 of the network:

Reference	Description	Decision	Date
22/00047/FUL	Phase 1 of new 23km Borough-wide district heating distribution network in Enfield comprising at this stage pipework of approximately 7km in length.	Granted with Conditions	3 October 2022
<p>Officer Note: This was an application for Phase 1 of the DEN that extended from Meridian Water/Edmonton in the south of the Borough towards the north. Permission was granted by Planning Committee in October of this year.</p>			

- 5.3 The following are similar, albeit smaller scale applications to extend piping to connect to various developments, in anticipation of the full decentralised energy network being built out.

Reference	Description	Decision	Date
19/02282/FUL	Installation of district heating pipework.	Granted with Conditions	24 October 2019

Officer Note: This was an application to install connecting pipework between Alma Estate and the Electric Quarter for future connection to the wider decentralised energy network.			
21/02036/FUL	Installation of district heating pipework and all associated works including pipework and connections on external elevations of properties	Granted with Conditions	39 July 2021
Officer Note: This application was associated with properties along Naylor Grove, EN3.			
21/02587/FUL	Installation of district heating pipework and all associated works including pipework and connections on external elevations of properties.	Granted with Conditions	16 September 2021
Officer Note: This application was associated with properties along South Street, EN3.			
22/00013/RE4	Extension of Ponders End Heat Network to supply low carbon heat to the Swan Annexe.	Granted with Conditions	17 March 2022
Officer Note: This application was associated with properties at Swan Annexe, adjacent to High Street, Ponders End.			

6 Consultations

Public

- 6.1. Extensive use of site notice signs was used to publicise this application given the route primarily runs through public highway. In all, approximately 19 notices were placed at key locations along the route and in visible areas such as junctions, paths, busy streets, etc. The period to receive comments expired 14 September 2022.
- 6.2. No representations from the public were received.

Statutory and Non-Statutory Consultees:

Internal

6.3. *Environmental Health:*

Environmental Health raise no objection to the application for planning permission as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality or noise.

Conditions associated with contamination and non-road mobile machinery were also requested and these have been included in this report.

6.4. *Highway Services – Excavations:*

No objection received.

6.5. *Highway Services – Street Trees:*

Highway Services comment that no agreement has yet been given to the removal of the street trees identified in this application i.e. Phase 2. A tree officer has been to site to inspect the 8 trees proposed for removal and has identified that there is no objection to the removal of 3 of the 8 due to their poor condition and it is noted that two have already been removed. The 3 remaining trees are identified as being in reasonable condition

6.6. *SuDS:*

No objection

6.7. *Transportation:*

No objection received.

6.8. *Tree Officer:*

No objection to the proposals but requested condition requiring details about the potential impacts to trees should unexpected utilities be discovered and / or diversions towards street trees could be required.

External

6.9. *Cadent Gas:*

No objection received.

6.10. *Environment Agency:*

No objection received.

6.11. *Haringey Council:*

No objection received.

6.12. *Historic England (GLAAS):*

The planning application is not in an area of archaeological interest.

The consultee agreed with the conclusions of the submitted desk-based archaeological assessment and supported the proposed archaeological watching brief on development groundworks by condition.

6.13. *Natural England:*

No objection received.

6.14. *Network Rail:*

No objection received.

6.15. *Thames Water:*

No objection received.

6.16. *Transport for London:*

No objection but raised concerns about traffic management during construction.

Officer Note: These have been forwarded to the applicant, who will be responsible for coordinating with the Council's Highways and Street Works team, as well as TfL and other operatives such as emergency services.

7. Relevant Policies

7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise.

7.1. London Plan (2021)

The London Plan is the overall strategic plan for London setting out an integrated economic, environmental, transport and social framework for the development of London for the next 20-25 years. The following policies of the London Plan are considered particularly relevant:

GG6: Increasing efficiency and resilience
D4: Delivering good design
HC1: Heritage conservation and growth
G7: Trees and woodlands
SI 1: Improving air quality
SI 2: Minimising greenhouse gas emissions
SI 3: Energy infrastructure
T1: Strategic approach to transport

7.2. Core Strategy (2010)

The Core Strategy was adopted in November 2010 and sets out a spatial planning framework for the development of the Borough through to 2025. The document provides the broad strategy for the scale and distribution of development and supporting infrastructure, with the intention of guiding patterns of development and ensuring development within the borough is sustainable.

CP 20: Sustainable Energy Use and Energy Infrastructure

CP 30: Maintaining and Improving the Quality of the Built and Open Environment

CP 31: Built and Landscape Heritage

7.3. Development Management Document (2014)

The Council's Development Management Document (DMD) provides further detail and standard based policies by which planning applications should be determined. Policies in the DMD support the delivery of the Core Strategy. The following local plan Development Management Document policies are considered particularly relevant:

DMD 37: Achieving High Quality and Design-Led Development

DMD 44: Conserving and Enhancing Heritage Assets

DMD 51: Energy Efficiency Standards

DMD 52: Decentralised Energy Networks

DMD 80: Trees on Development Sites

7.4. Edmonton Leaside Area Action Plan (2020)

The Edmonton Leaside Area Action Plan (ELAAP) was adopted by Enfield Council on 29 January 2020. The plan is now part of the development plan, and planning decisions within the Edmonton Leaside area must be taken in line with the plan, subject to other material considerations. The following area action plan policies are considered particularly relevant:

EL17: Redevelopment of the EcoPark Site

EL26: The Meridian Water Heat Network

7.5. Other relevant Policy/Guidance

National Planning Policy Framework (2021) – Para 194: Archaeological Interest

National Planning Practice Guidance (NPPG)

Decentralised Energy Network Technical Specification SPD (2015)

8. Analysis

8.1. The main planning considerations of the development are the following:

- Principle of the development
- Environmental health
- Transportation and highways
- Trees
- Sustainable drainage
- Design, heritage and archaeology

8.2. Principle of Development

- 8.2.1. The principle of installing and strategically expanding decentralised energy networks and associated infrastructure is fully supported and encouraged by policy DMD 52 of the Enfield Development Management Document (2014) and CP 20 of the Enfield Core Strategy (2010), as well as the Enfield Decentralised Energy Network Technical Specification Supplementary Planning Document (2015). The National Planning Policy Framework and policy SI3 of the London Plan (2021) further reinforce the support for decentralised energy networks.
- 8.2.2. Decentralised energy networks generate energy at the point of distribution, in this case an existing energy from waste facility that is currently being replaced and upgraded with modernised technology and methods. Power and/or heat is then distributed in a network of underground pipelines.
- 8.2.3. Policies DMD 51 and DMD 52 require new developments to connect to decentralised networks if nearby, contribute towards extensions of the network if feasible to do so, or if the network does not yet exist but is planned then to commit to connect to the network in the future when available.
- 8.2.4. As a source of low-carbon energy, the proposed extension of the network to serve a wider area and more users is fully supported by national, regional, and local policy. Therefore, the proposed development is wholly supported in principle and actively encouraged by Enfield Council plans and policies.

8.3. Environmental Health

Air Quality

- 8.3.1. Policy SI 1 of the London Plan (2021) requires that development proposals control, and where possible improve, air quality within London. In consultation with the Council's Environmental Health Officer it was noted that non-road mobile machinery must comply with the GLA's supplementary planning guidance Control of Dust and Emissions During Construction and Demolition (2014) to control dust during construction works. Compliance with this requirement can be ensured by a condition.

Contamination

8.3.2. The applicant submitted a land contamination report outlining how to avoid risk to the environment and human health if contamination is discovered. The Environmental Health Officer recommend conditions to protect air quality and measures to be taken should unexpected contamination be discovered.

8.3.3. As conditioned, it is considered that the proposal will not negatively impact the environment in the context of air quality and contamination.

8.4. Transportation and Highways

8.4.1. The vast majority of the proposed piping will be located within the public highway. In addition to requiring planning permission, the new apparatus will therefore require licensing pursuant to Section 50 of the New Roads and Street Works Act 1991. As part of the licensing process temporary traffic management measures will need to be agreed and put in place to ensure the safety of both operatives and road users.

8.4.2. The Council's Street Works team did not comment on the present application, but noted during the review of Phase 1 of the network that once a contractor is appointed the detailed traffic management arrangements will be designed in conjunction with key stakeholders, including TfL and the emergency services. In addition, the applicant will be required to engage with residents and businesses along the affected route.

8.4.3. Despite the traffic management arrangements, it is clear that implementation of the works will have a significant and prolonged impact on traffic conditions along the A1010 corridor and elsewhere. Whilst this is not in itself a planning consideration, it should be noted that the Street Works team will work with the applicant to reduce the impact as much as possible. This may include the application of necessary conditions to any section 50 licences in order to minimise any adverse impact to the operation of the highway network.

8.5. Trees

8.5.1. Policy DMD 80 states development that involves the loss of or harm to trees protected by a TPO or trees of significant amenity or biodiversity value will be resisted. There are no TPO trees proposed to be removed. An Arboricultural Impact Assessment (AIA) has been submitted by the applicant. The AIA includes survey data, survey methods, tree constraints plans, tree works plans, tree protection plans, and tree protection fencing specifications.

8.5.2. The proposal includes the removal of 5 individual trees and a portion of 1 tree group, as noted in the table below from the submitted AIA. The identified trees are required for removal due to the trenching required for the installation of the pipework and the location of the pipework.

	Trees	Groups	Woodland	Hedgerow
--	-------	--------	----------	----------

Remove (on-site)	T277; T276; T2; T5; T255	G28		
Remove (off-site)				

- 8.5.3. Class A and B trees are generally worth conserving, however, if they are removed, DMD 80 requires adequate replacements to be provided.
- 8.5.4. The table below describes the distribution of trees identified for removal or possible removal in each category:

Feature	Number of features affected				
	Category A	Category B	Category C	Category U	Hedges
Trees		2 (T2, T5)		3 (T255, T276, T277)	
Group		1 (G28)			
Woodland					

- 8.5.5. Due to the strategic location of piping locations and the location of the identified trees, it is considered the removal of the trees and those within the tree group is warranted when weighed against the benefits associated with the proposal. However, as required by policy, these trees must be replaced with suitable trees on the site. This is supported in the proposed mitigation measures within the submitted AIA. A condition will require a detailed plan for replacement of these trees.
- 8.5.6. The Council's Tree Officer was consulted and raised no objection to the removal of these trees however requested that an additional condition be attached to the decision, requesting an additional tree protection plan and an arboricultural method statement, in order to provide greater certainty around measures of protection for trees retained on site, during construction.
- 8.6. Flooding / Sustainable Drainage
- 8.6.1. Policy DMD 61 states that a drainage strategy will be required for all development to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan.
- 8.6.2. The proposed development is an underground infrastructure project involving enclosed pipes, so is dissimilar to a typical above-ground development that the relevant policies address. Hard surfacing will be removed to install the pipes and reinstated in the roadways, offering little need to improve drainage along the route.

- 8.6.3. The Council's SuDS team submitted comments noting that the developer must not negatively impact any existing rain gardens that may exist along the route. The applicant has stated that none of the proposed route goes through any rain gardens, by design. The SuDS team at minimum requested that a method statement be submitted by the applicant in the case a rain garden is encountered, which has been provided.
- 8.6.4. The SuDS team also noted that there may be opportunity to deliver new rain gardens when doing works. It is noted that this is outside of the scope of this planning application, but as part of the local Highways Authority, the SuDS team would be eager to work with the developers in identifying opportunities.
- 8.6.5. In addition, the SuDS team noted that the works involve installing pipes under watercourses and culverts. The applicant noted:

We will be building our network under most water courses, and whilst we will need to liaise, agree our design and obtain a permit with the Environment Agency (our contractors are liaising with them), as has been the case for other watercourses, we don't expect this to be contentious where we go under the watercourse. We expect further discussion with them relating to the bridge over Salmons Brook next to the Plevna Road bridge, although we agreed with them via a permit to install a pipe bridge across Salmons Brook adjacent to the Advent Way road bridge, so we are aware of their expectations.

With respect to the Ordinary Watercourse Consent for GNER Ditch, we won't be altering any waterflows or creating any culverts, but we can submit our design via the consent form to show how we are going to tunnel under the ditch as we go along the cycle path, although since LBE have already created a GRP pipe flow protection for this part of the ditch route, our pipe crossing design under this GRP pipe will have no impact.

- 8.6.6 The Environment Agency was consulted but did not respond with comments. The Environment Agency requested a condition for Phase 1 to require a report on the physical condition of existing culverts, and if improvements are required that the applicant carry out these works. If an Environment Agency permit is needed for any part of the development, this is covered by separate legislation and does not need to be controlled through a planning permission or condition. The applicant has noted that no culverts will be crossed.

8.7. Design, Heritage, and Archaeology

- 8.7.1. As the development consists of underground utilities that will not be visible once the roads and other surfaces are reinstated, and the only visible components will be maintenance access points at some junctions (similar to other in-road utilities such as water, electricity, gas, etc.), it is considered there would be no adverse visual impacts.
- 8.7.2. The proposed development passes through two conservation areas along Fore Street (Fore Street Angel and Fore Street South). Again, due to the fact that the

works are below ground, no heritage assets would be impacted. Consequently, there is no objection raised in terms of heritage and conservation.

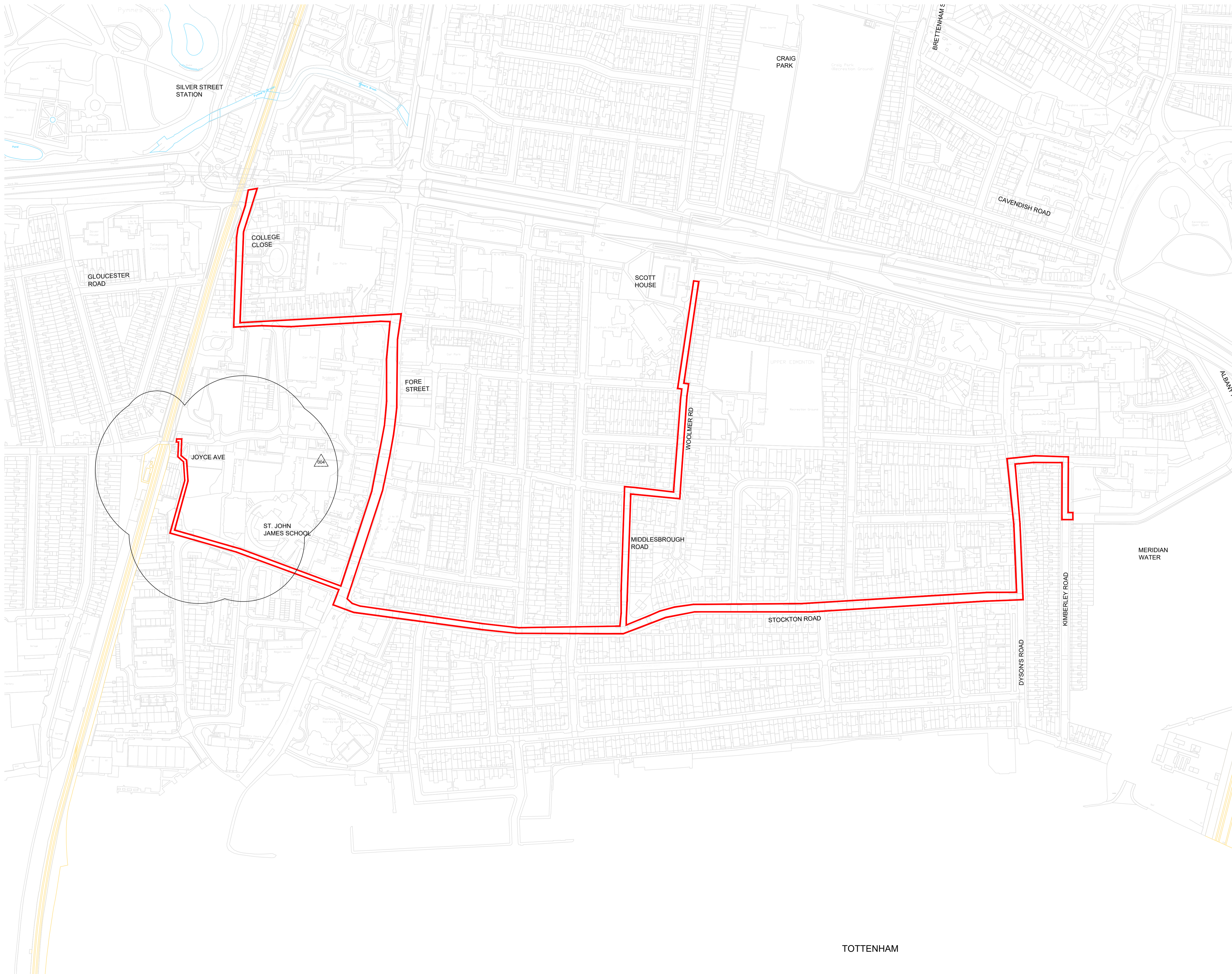
- 8.7.3. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation (NPPF 2021, 194).
- 8.7.4. The applicant submitted a desk-based archaeology report, which found no probable archaeological site within the proposed route. The Greater London Archaeological Advisory Service at Historic England was consulted and noted the route was not in a site of archaeological interest. The GLAAS agree with the findings of the report and its proposed measures. Therefore, a condition has been included to require a Written Scheme of Investigation.

9. Community Infrastructure Levy

- 9.1. In this case, due to the nature of the development, the proposal would not be liable to pay the Council's CIL or the Mayoral CIL.

10. Conclusion

- 10.1. Strategic national, regional, and local policy is supportive of the delivery of decentralised energy networks. This application is for the first major phase of underground infrastructure to enable provision of reliable and sustainable energy and allow for future extension of the network. It is considered that the proposed route is in appropriate locations, there would be no visual impact, would be a significant investment in and a step towards a sustainable future for the Borough, and will mitigate any transportation, tree, archaeology, or contamination issues that may rise through the requirements of the suggested conditions or by following the plans put forth by the applicant.
- 10.2. The proposal is therefore recommended for approval subject to the recommended conditions.



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LEGEND

Zone Demarcation

Revision Ref:

Rev	Description	Issued	Checked	Date
004	RED LINE BOUNDARY UPDATED THROUGH JOYCE AND SHELLEYS ESTATE			17.08.22 PA 17.08.22
003	RED LINE BOUNDARY UPDATED			14.07.22 MS 14.07.22
002	RED LINE ROUTE UPDATED			07.07.22 MS 07.07.22
001	TENDER ISSUE			22.06.22 MS 22.06.22

Purpose of Issue
TENDER

Project Information
 Client:



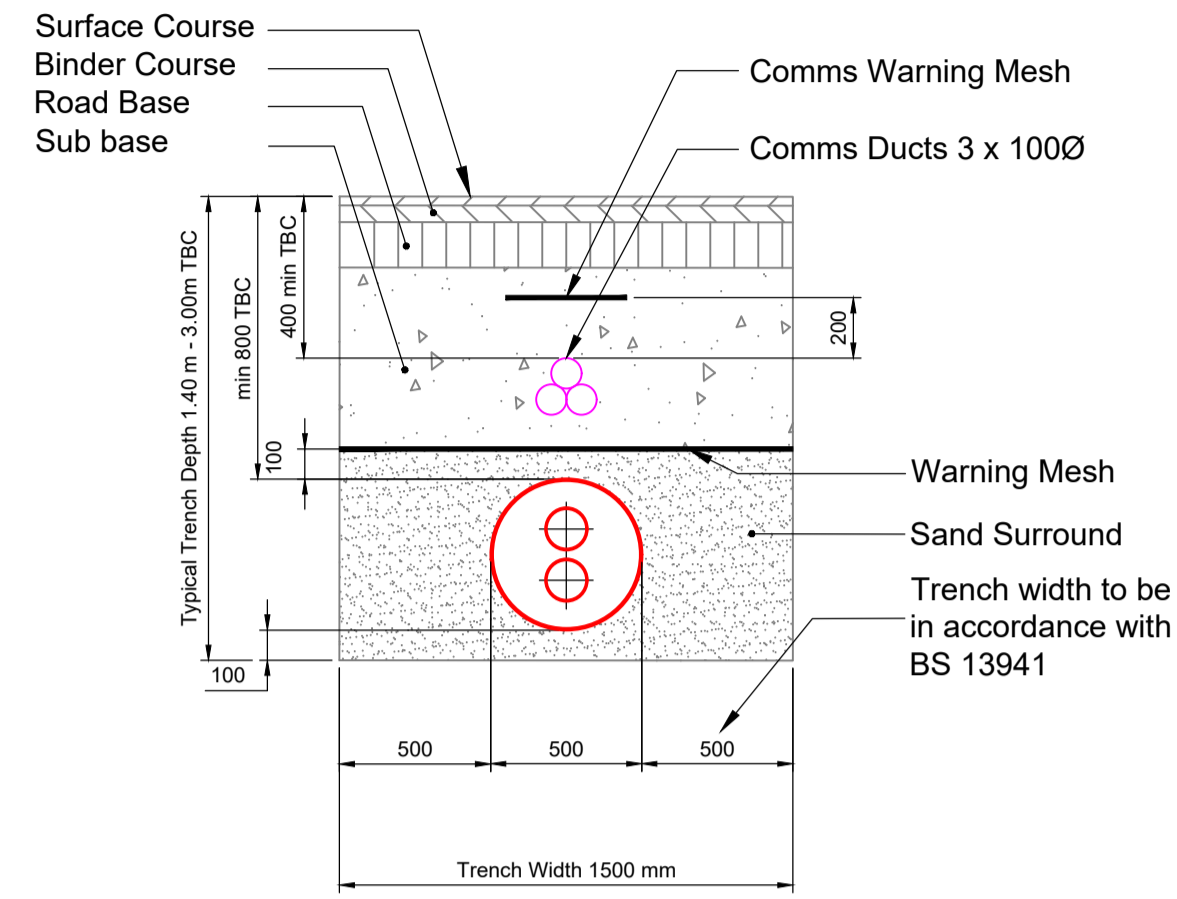
Title: Enfield District Heating Network

Drawing Information
Phase 2 Part 1 Planning Red Line Drawing

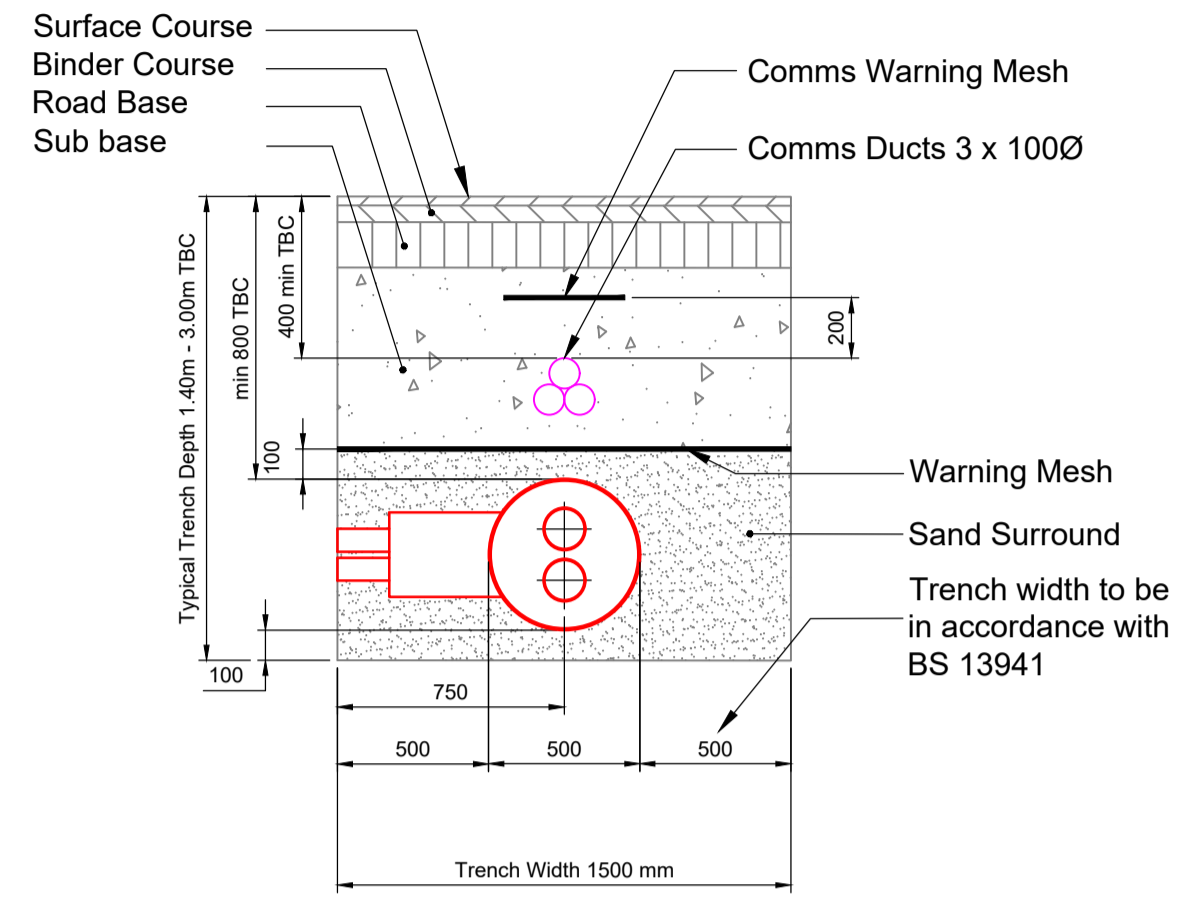
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Project No.	Drawn	Scale @ A1	Status	Revision		
1665	DW	1:2000	D2	004		



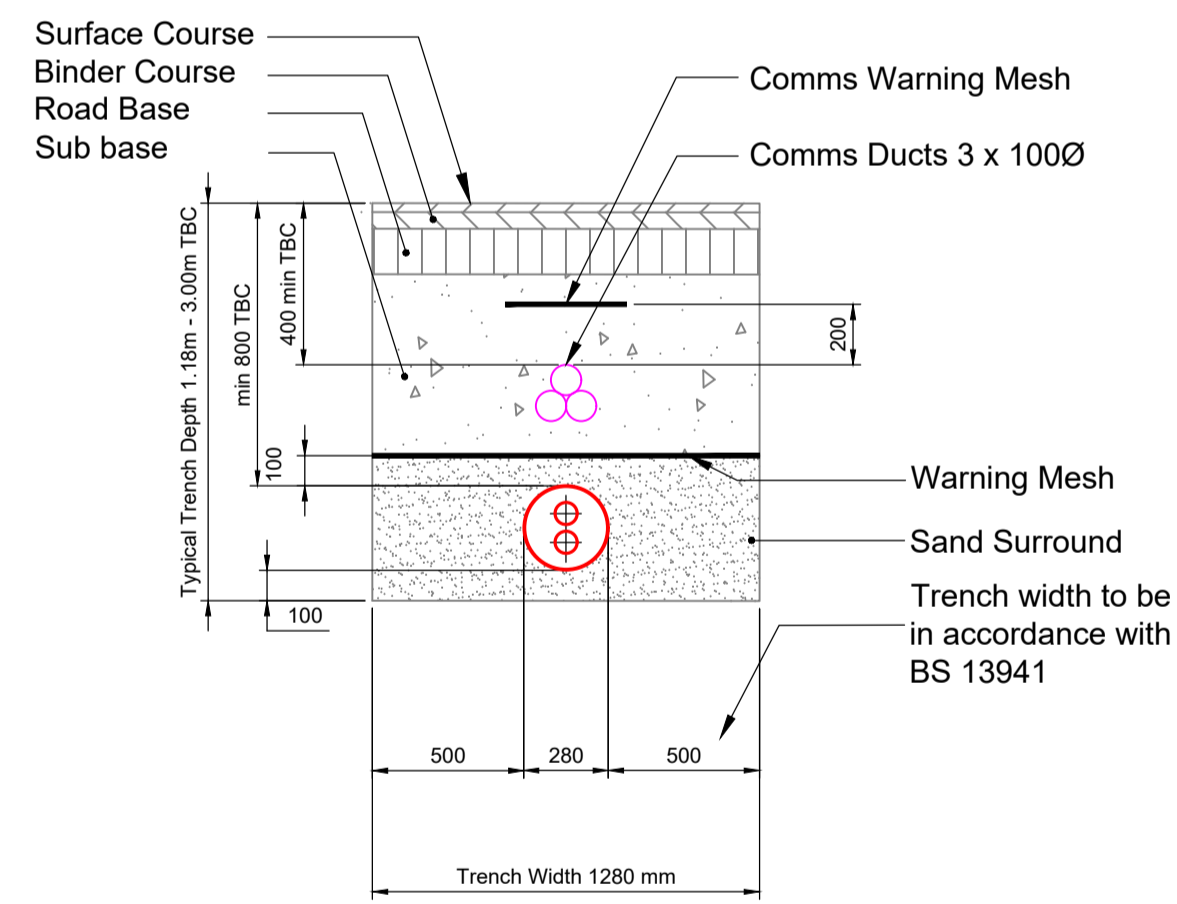
TOTTENHAM



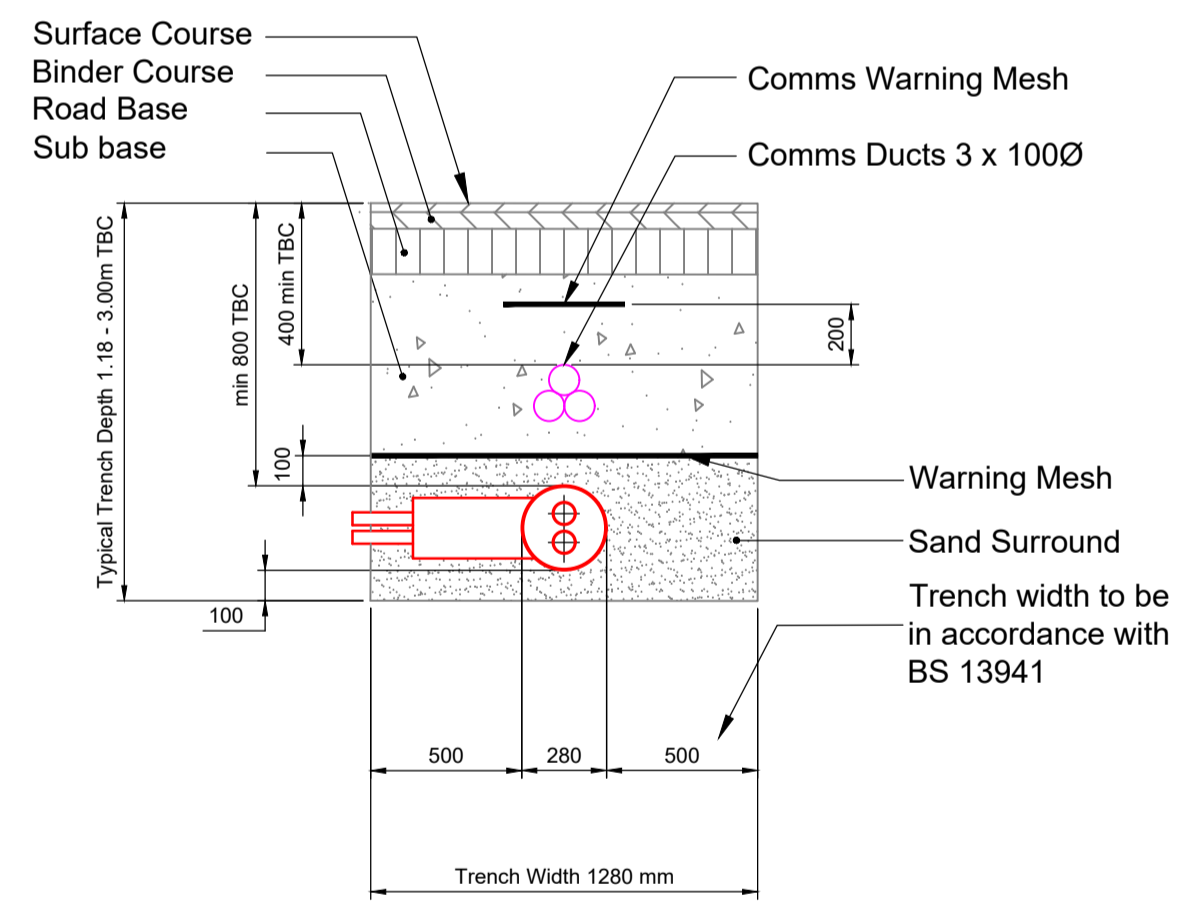
DN125/5000D SERIES 3



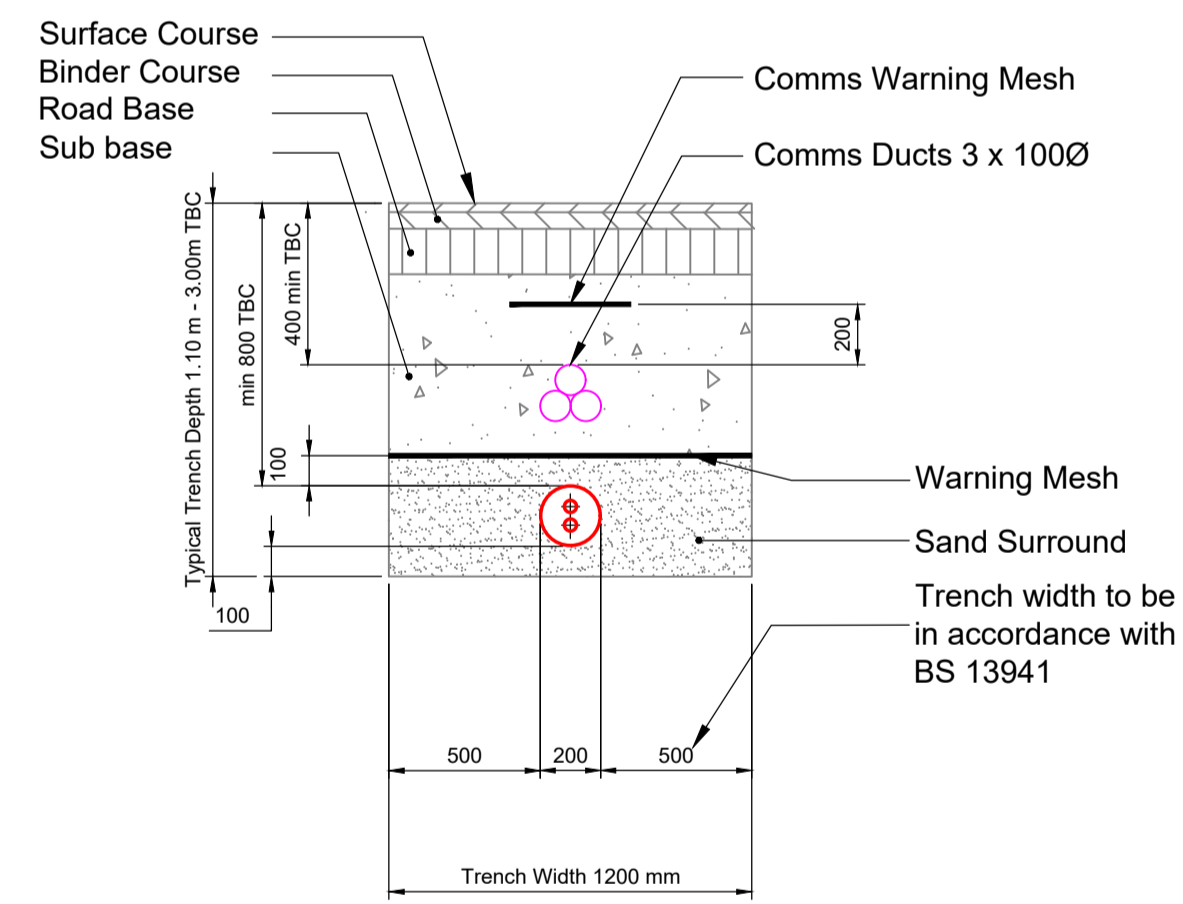
**DN125/5000D SERIES 3
C/W DN65/2800D SERIES 3 TEE**



DN65/2800D SERIES 3



**DN65/2800D SERIES 3
C/W DN32/2000D TEE**



DN32/2000D SERIES 3

NOTES:

For additional technical information please refer to the Logstor manuals

1. Design
2. Design with Twin Pipes
3. Product Catalogue
4. Surveillance
5. Handling & Installation

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Rev	Description	Issued	Checked	Date
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Rev	Description	Issued	Checked	Date
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INFORMATION

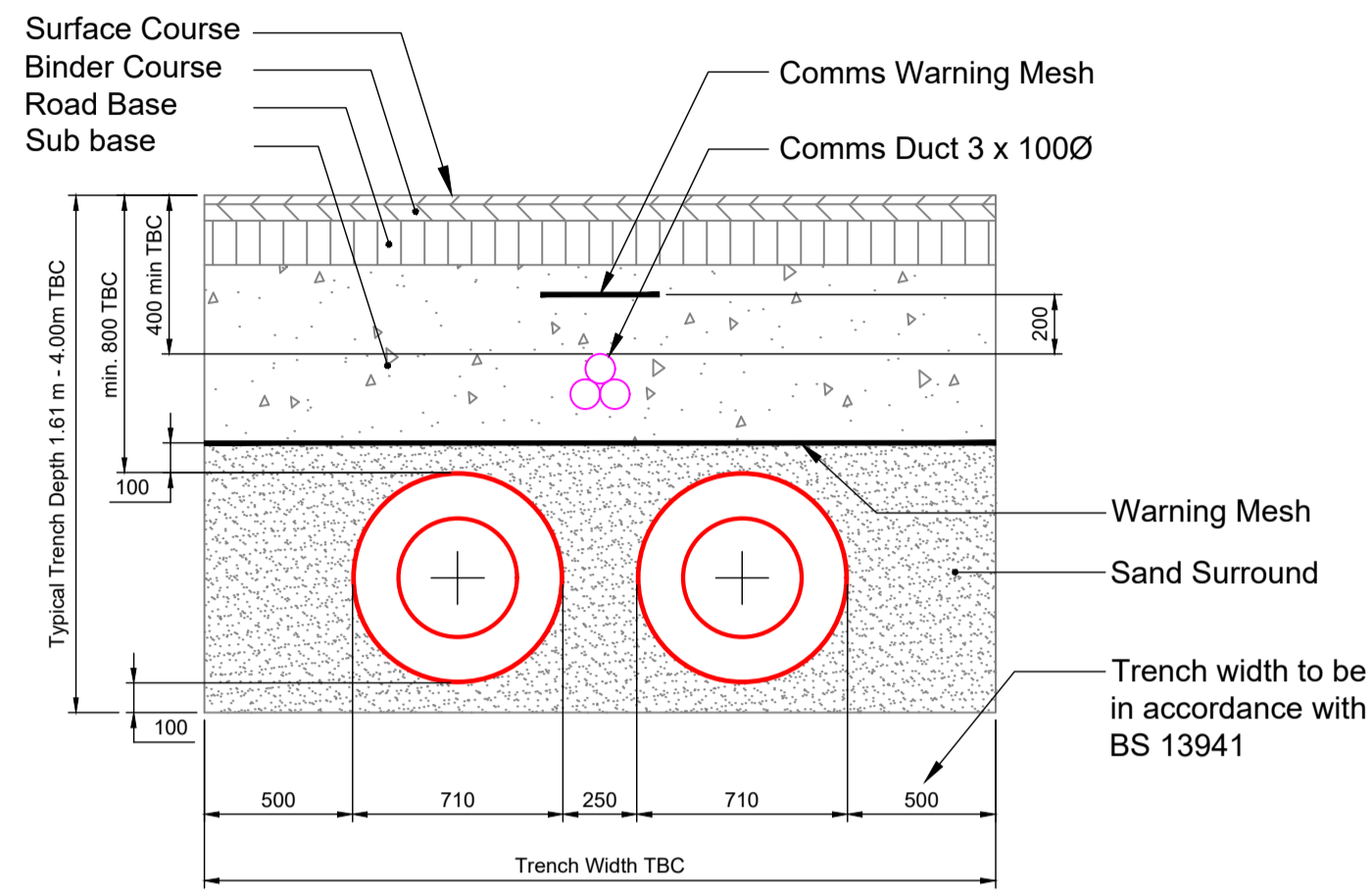
Project Information
Project: Enfield District Heating Network
Phase 2
Drawing Information
Typical Trench Cross Sections

Client:

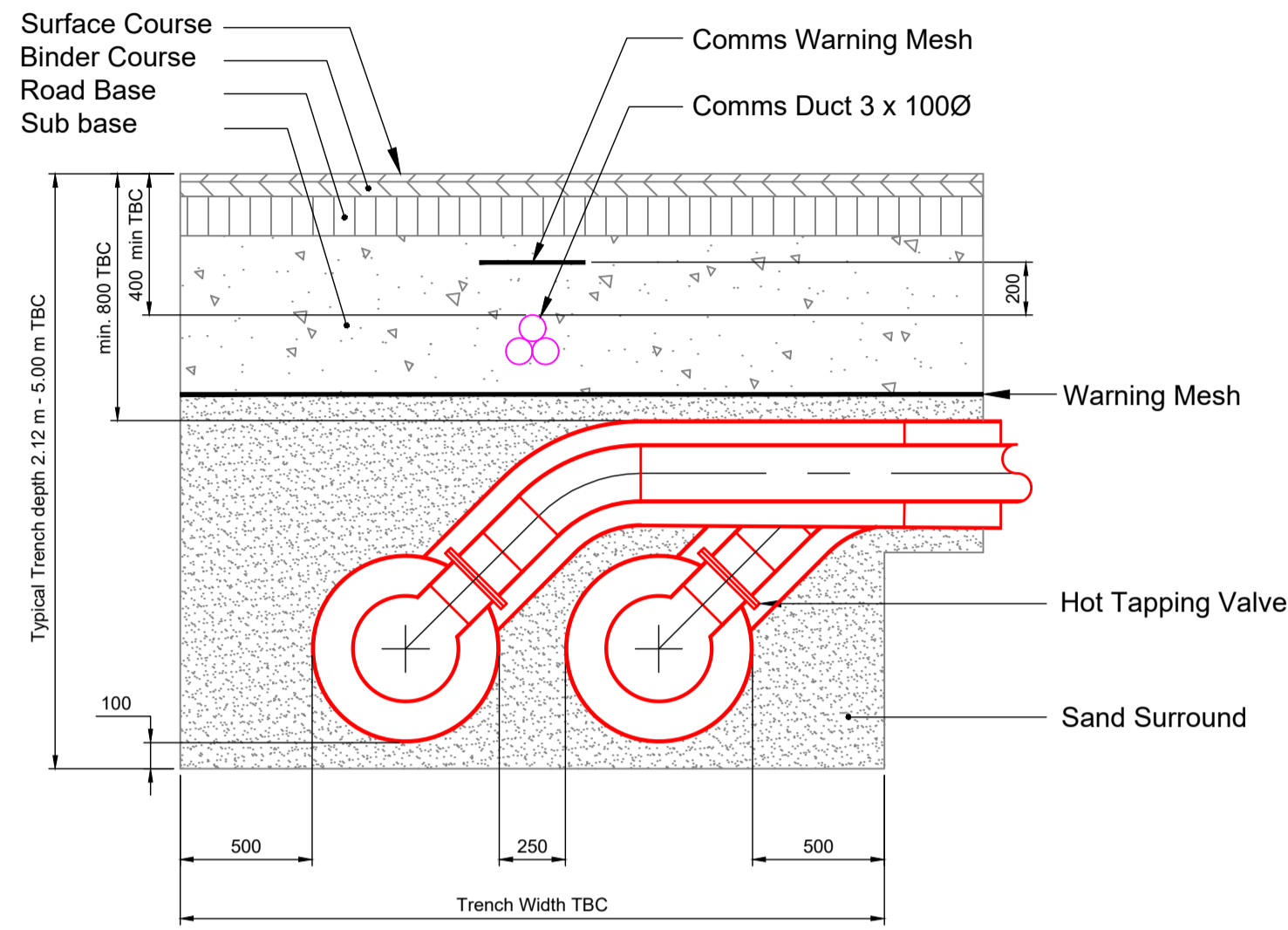


Project ID	Originator	Zone	Level	Type	Role	Drawing No.
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Project No.	Drawn	Scale	Scale	Status	Revision	
1665	DW	1:20		S2	002	

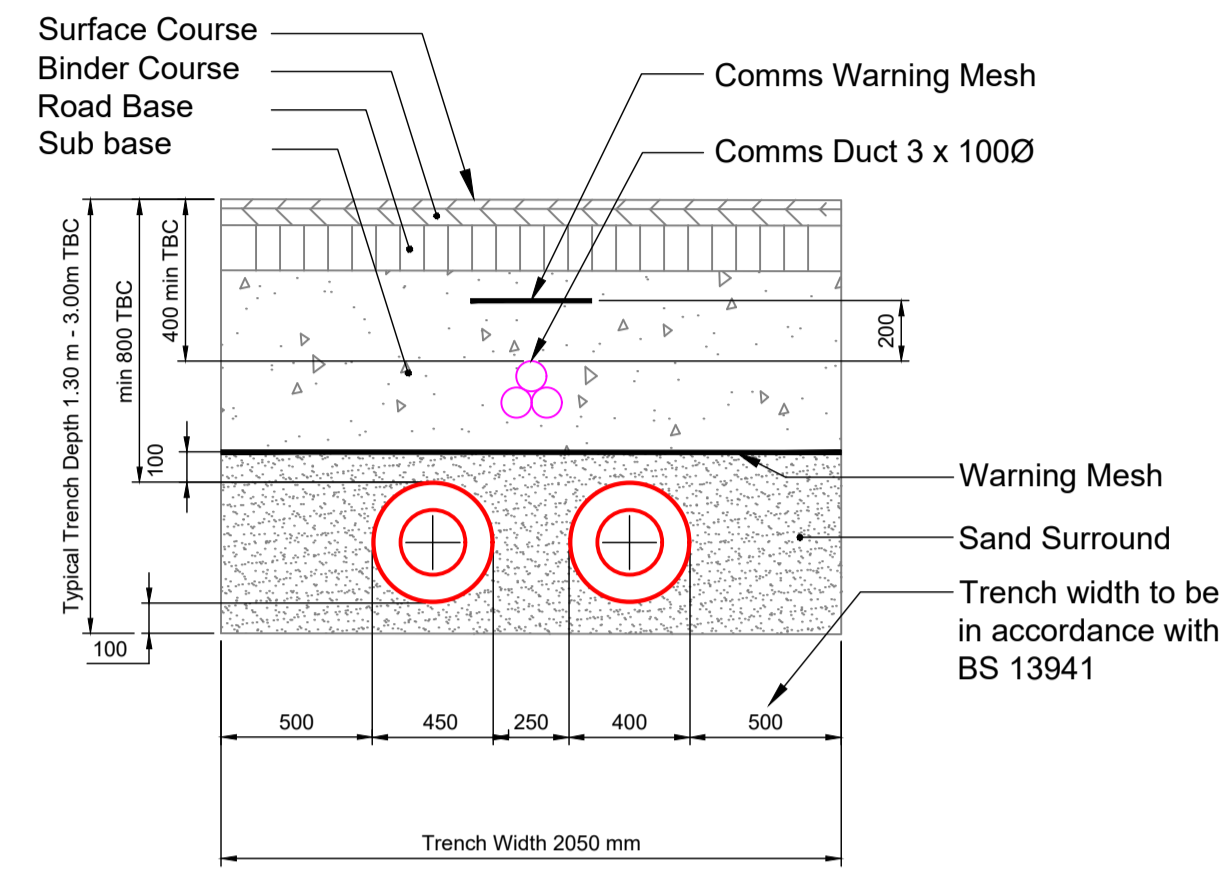
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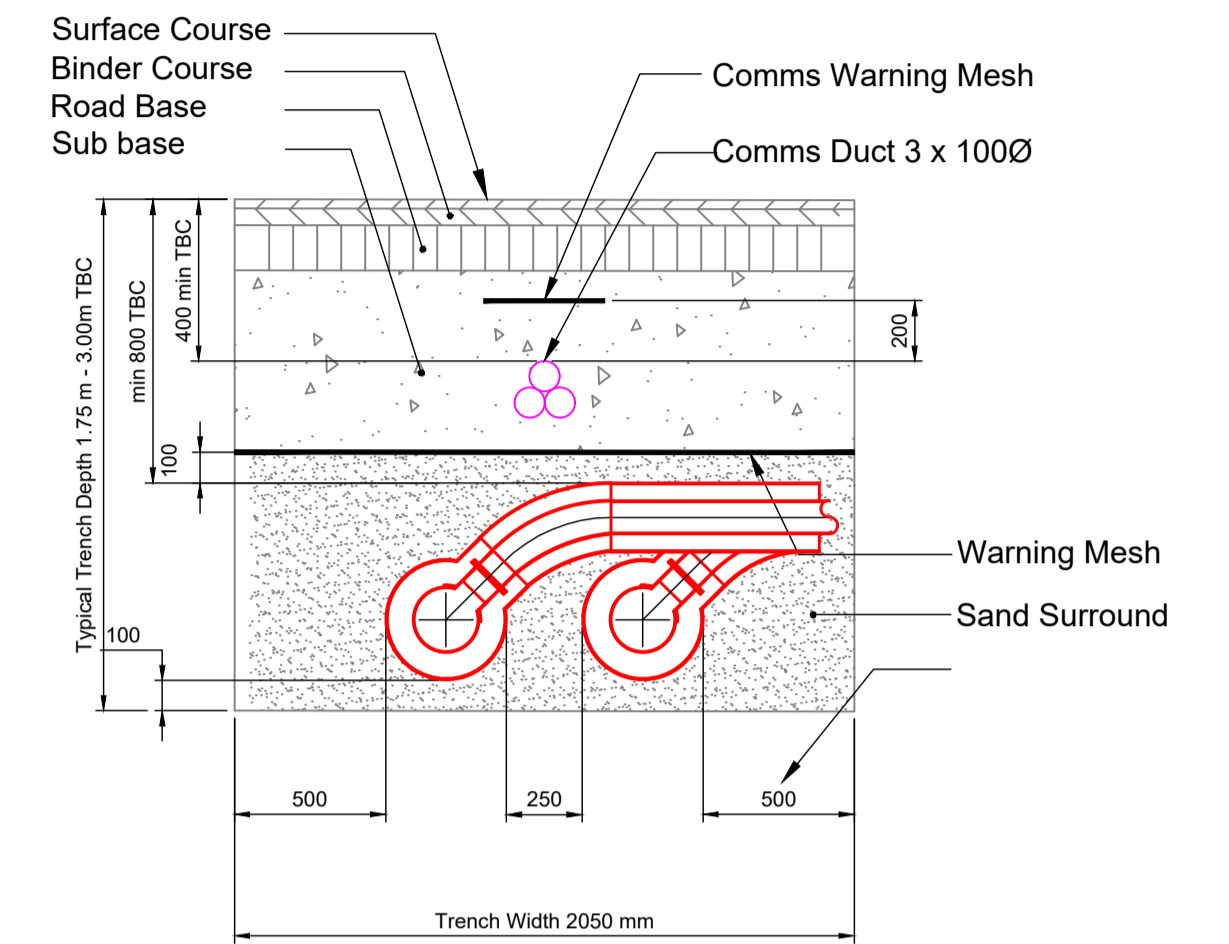
**DN400/710D SERIES 3
TYPICAL TRENCH DETAIL**



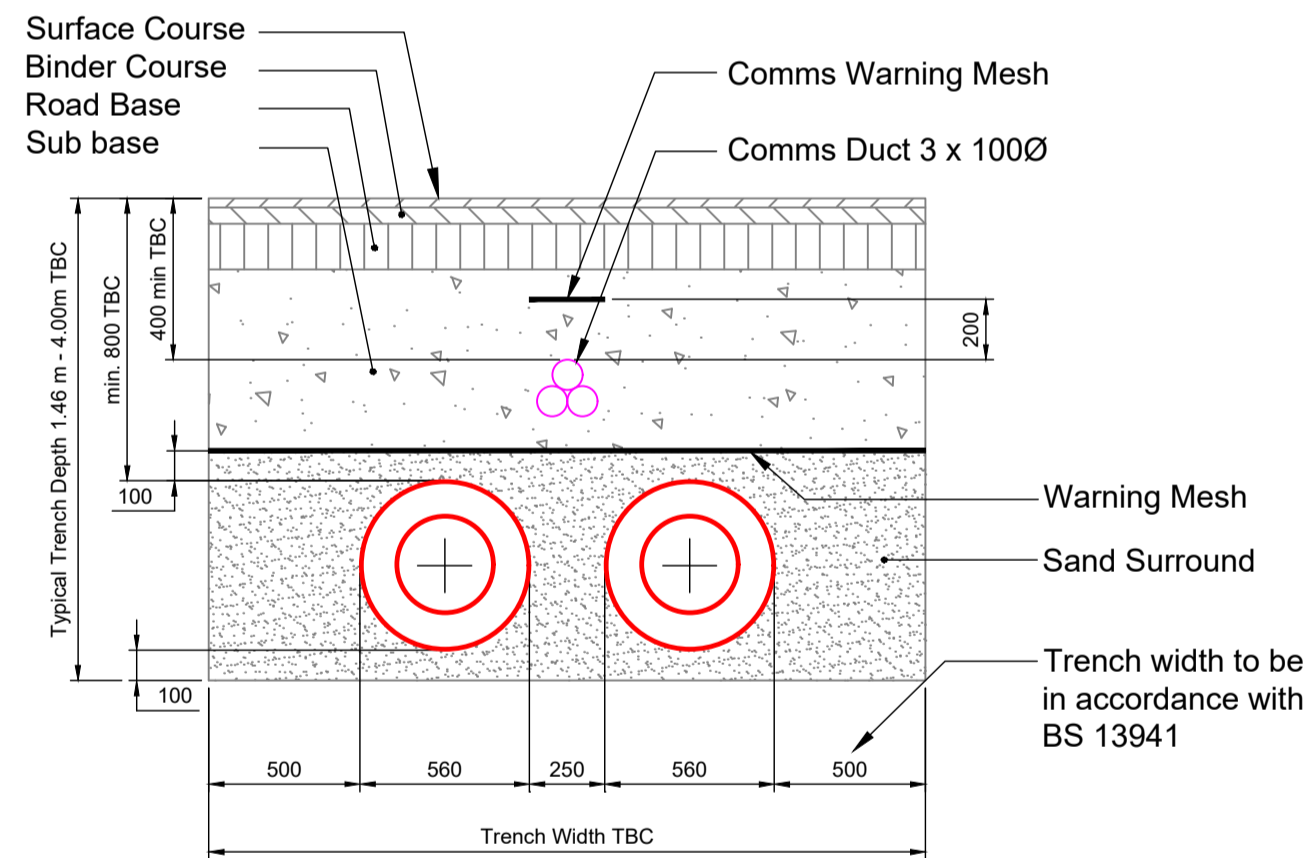
**DN400/710D SERIES 3
TYPICAL TRENCH DETAIL C/W 45° HOT TAPPING**



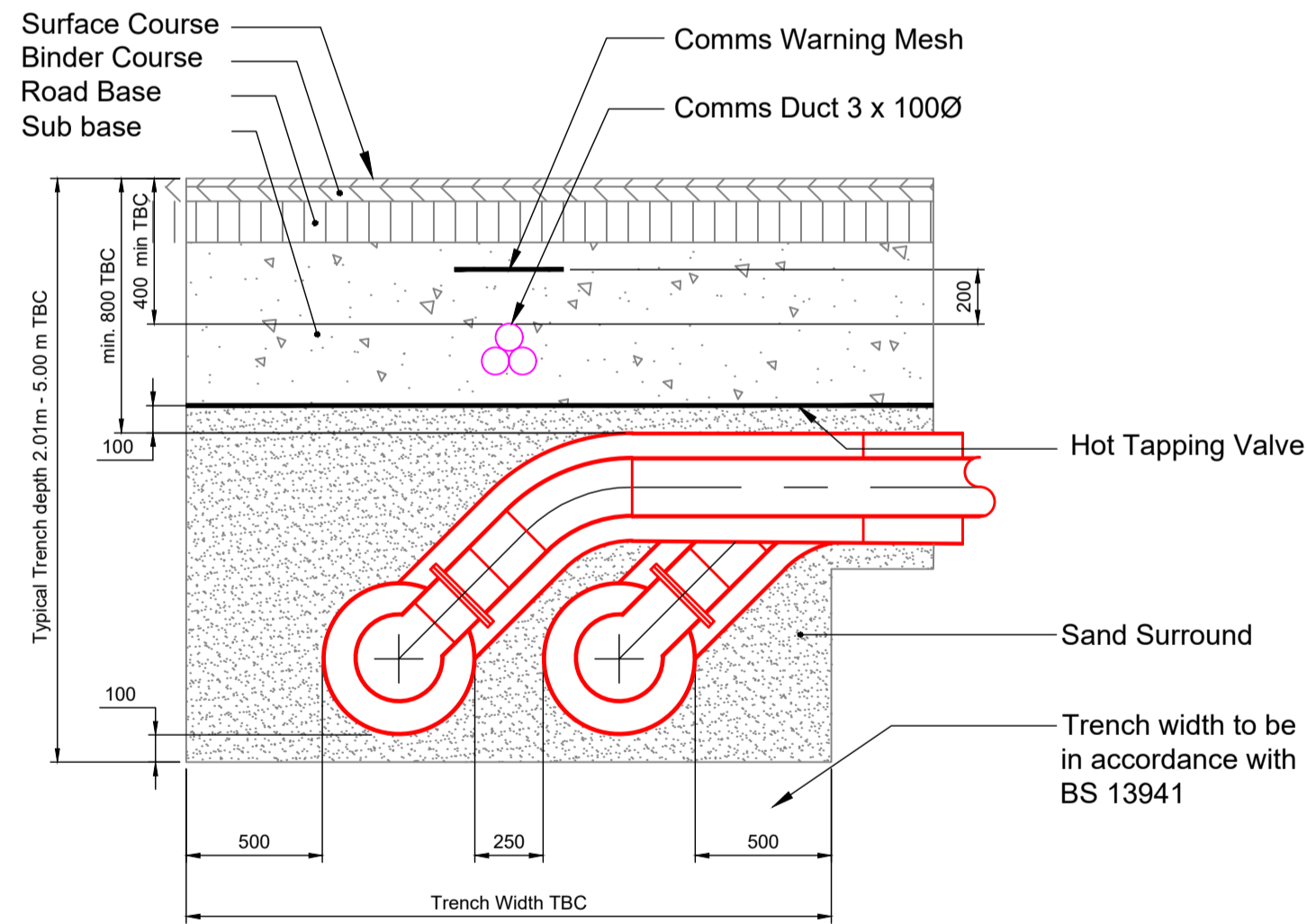
**DN200/400D SERIES 3
TYPICAL TRENCH DETAIL**



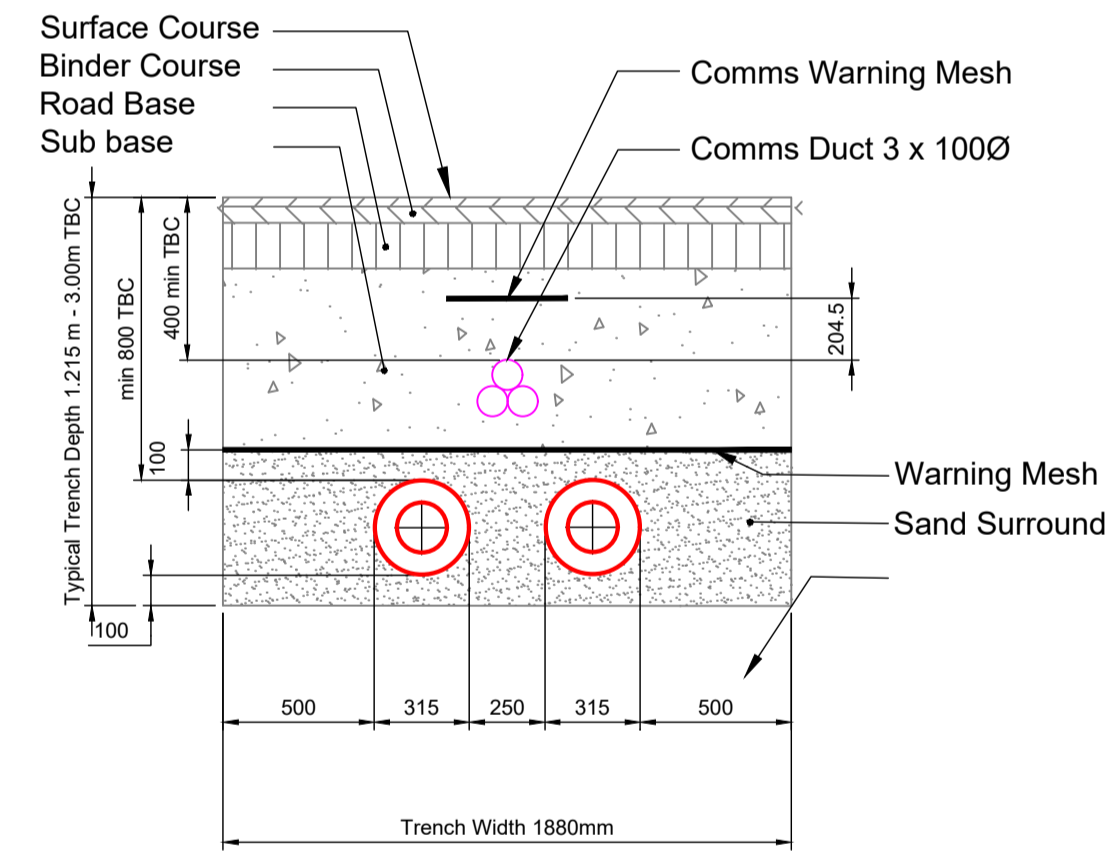
**DN200/400D SERIES 3
TYPICAL TRENCH DETAIL C/W 45° HOT TAPPING**



**DN300/560D SERIES 3
TYPICAL TRENCH DETAIL**



**DN300/560D SERIES 3
TYPICAL TRENCH DETAIL C/W 45° HOT TAPPING**



**DN150/315D SERIES 3
TYPICAL TRENCH DETAIL**

NOTES:

For additional technical information please refer to the Logstor manuals

- 1, Design
- 2, Design with Twin Pipes
- 3, Product Catalogue
- 4, Surveillance
- 5, Handling & Installation

- Drawing not to be scaled
- Report errors & omissions to d3-associates
- Check all dimensions on site
- To be read in conjunction with Health and Safety plan and all relevant risk assessments

Rev	Description	Issued	Checked	Date
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Rev	Description	Issued	Checked	Date
001	FOR INFORMATION	XXXXXXPH	XX.XXX	22.06.22 MS
002	TENDER ISSUE			22.06.22

Purpose of Issue
TENDER
Project Information
Project: Enfield District Heating Network
Phase 2
Drawing Information
Typical Trench Cross Sections

Client:



Project ID	Originator	Zone	Level	Type	Role	Drawing No.
ENF	D3A	00	XX	DR	M	0263
Project No.	Drawn	Scale	Scale	Status	Revision	
1665	DW	1:20		D2	002	

